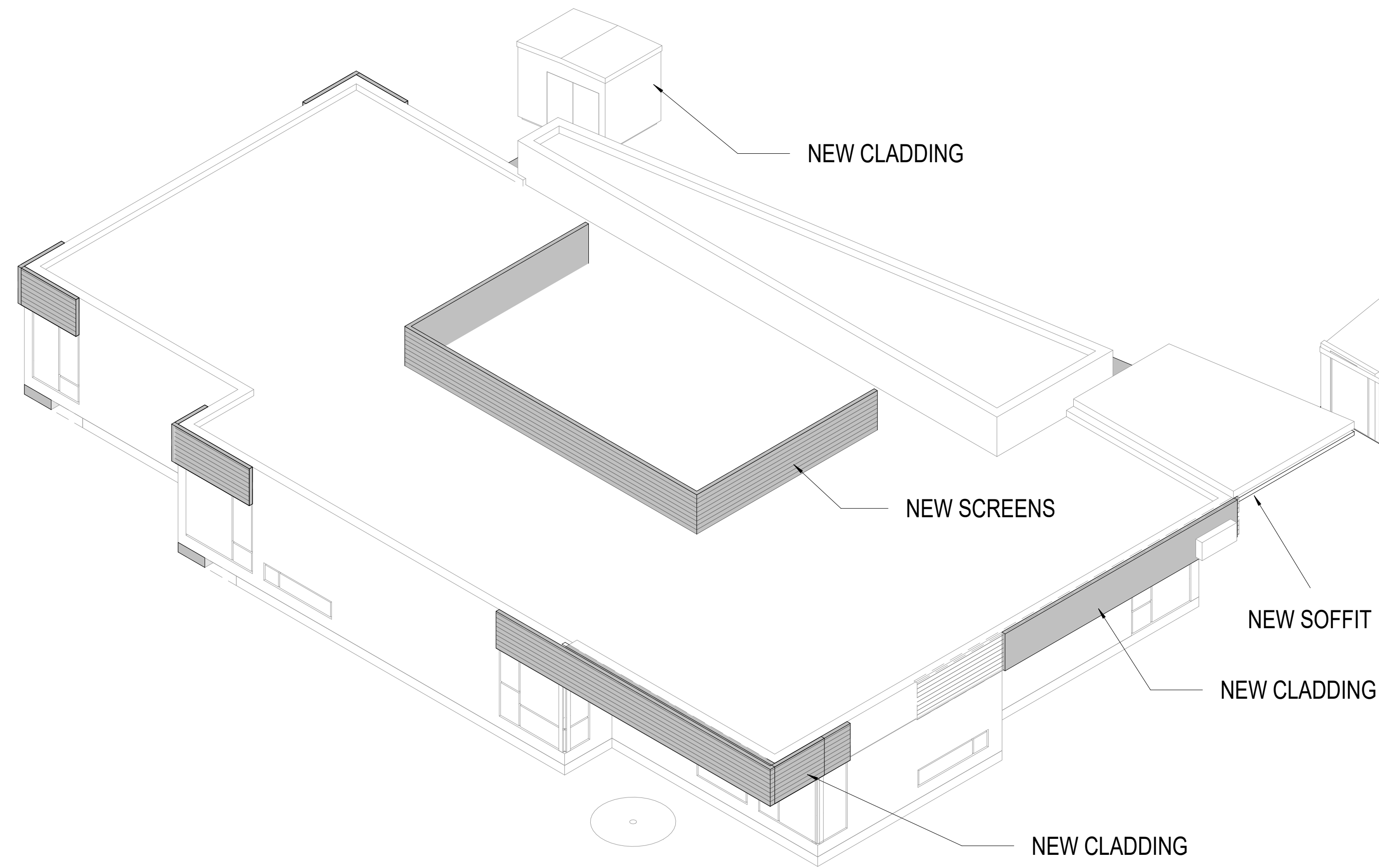


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Renovation of the Enderby Child Care Centre

118 Enderby Road, Toronto, ON M4E 2S6

TENDER
NOVEMBER 19, 2025

ARCHITECTURE

Laptiste Architecture Inc. o/a
Studio of Contemporary Architecture

1137A Queen Street East
Toronto ON M4M 1K9

- A000 COVER PAGE
- A100D DEMOLITION PLANS
- A111 MAIN FLOOR PLAN
- A112 ROOF PLAN
- A120 SECONDARY STRUCTURE PLANS
- A200 REFLECTED CEILING PLAN
- A300 EXTERIOR ELEVATIONS - DEMO
- A301 EXTERIOR ELEVATIONS - NEW
- A500 EXTERIOR WALL SECTIONS
- A510 SECTION DETAILS

STRUCTURAL ENGINEERING

Read Jones Christoffersen Ltd
100 University Ave, North Tower, Suite 400
Toronto ON M5J 1V6
tel 416-977-5335

- S0.1 GENERAL NOTES
- S1 LEVEL 1 PLAN AND APPROXIMATE AREAS OF WORK
- S2 PART PLAN AND DETAIL

NAME OF PRACTICE : CERTIFICATE OF PRACTICE NUMBER:		LAPTISTE ARCHITECTURE INC. 6114 1137a QUEEN STREET EAST TORONTO, ONTARIO M4M 1K9 (437) 916-9272					
NAME OF PROJECT: LOCATION:		Renovation of the Enderby Child Care Centre 118 Enderby Road, Toronto, ON					
DATE:		June 30, 2025					
		Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building					OBC Reference
11.00	Building Code Version:	O. Reg. 163/24		Last Amendment: O. Reg. 447/24			
11.01	Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Change of use		<input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation		[A] 1.1.2	
		Description INTERIOR RENOVATION					
11.02	Major Occupancy Classification:	Occupancy Group A, Div 2		Use Child Care Centre		3.1.2.1(1)	
11.03	Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Description _____		3.2.2.7	
11.04	Building Area (m ²)	Description NO CHANGE IN BUILDING AREA		Existing 560	New 0	Total 560	
							[A] 1.4.1.2.
11.05	Building Height	1 1	Storeys above grade Storey below grade		12m	Above Grade	
							[A] 1.4.1.2 & 3.2.1.1
11.06	Number of streets/ fire fighter access:	2 street(s)					3.2.2.10 & 3.2.5
11.07	Building Size:	<input type="checkbox"/> Small <input type="checkbox"/> Medium		<input type="checkbox"/> Large <input type="checkbox"/> > Large		T.11.2.1.1.C.	
11.08	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes		<input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)		11.2.1 11.2.1.1A 11.2.1.1B to N.4.2.1(3) & 5.2.2.1(2)	
		Construction Index: _____					
		Hazard Index: _____					
		Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal		<input type="checkbox"/> High <input type="checkbox"/> Post-disaster			
11.09	Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation				11.3.3.1 & 11.3.3.2	
11.10	Occupant Load:	Floor Level/ Area Building	Occupancy Type Assembly	Based On 3.1.17.1(1)(b)	Occupant Load 75	3.1.17	
		No change to occupant load.					
11.11	Plumbing Fixture Requirements:	No change to the number of washroom fixtures.					3.7.4 / 9.31
11.12	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No - 3.8.1.1.(1)(a)				11.3.3.2(2)	
11.13	Reduction in Performance Level:	Structural	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1		
		By increase in occupant load:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.2		
		By change of major occupancy:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.3		
		Plumbing	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.4		
		Sewage - system:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.5		
11.14	Compensating Construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				11.4.2.1	
		Structural	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.2		
		By increase in occupant load:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.3		
		By change of major occupancy:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.4		
		Plumbing	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.5		
		Sewage - system:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.6		
		Extension of Combustible Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.7		
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		_____		11.5.1.	
11.16	Notes:	Existing sprinkler system in basement only. Existing Building is non-combustible.					
		OBC 2024 Building Classification - 3.2.2.25. Group A, Division 2, up to 2 Storeys					

SOCA STUDIO OF CONTEMPORARY ARCHITECTURE

LAPTISTE ARCHITECTURE INC.

1137A Queen St. East
Toronto, ON M4M 1K9
(437) 916-9272

Renovation of the Enderby Child Care Centre

Owner
118 Enderby Road, Toronto, ON M4E 2S6

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COVER PAGE

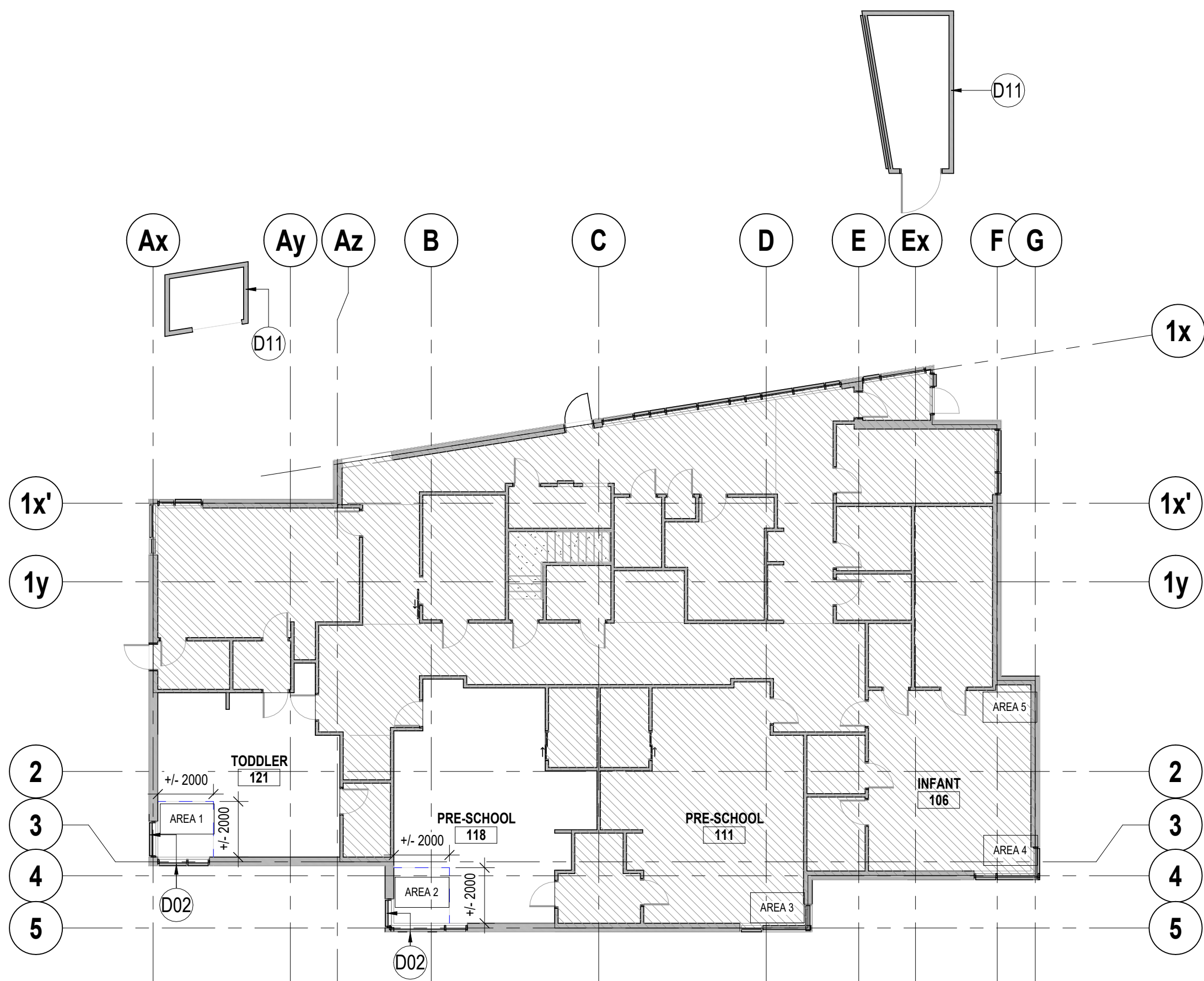
A000



PHOTO OF ROOM 121



PHOTO OF ROOM 118



2 LEVEL 1 PLAN - DEMO
A100D 1:150

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL

DEMOLITION NOTES

- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE OR PART THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND IS TO REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
- ARCHITECTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
- PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL, OR CAUSE OTHERS TO FALL.
- MAINTAIN WORK AREAS AND STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES.
- REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
- DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
- MAINTAIN EXISTING FIRE SUPPRESSION SYSTEMS AND EQUIPMENT.
- MAINTAIN FIRE SEPARATIONS AND FIRE RATINGS. MAKE GOOD ANY DAMAGE TO CEILING CEMENTITIOUS FIRE SPRAY.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.

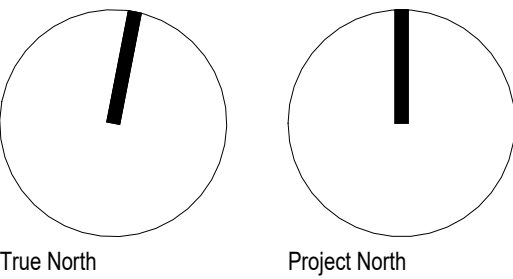
D02	DEMOLISH SLAB ON GRADE TO AN AREA OF +/- 2000mm X 2000mm OR TO EXTENTS SHOWN.
D10	REMOVE EXISTING WALL CLADDING AND MAINTAIN AND MAKE GOOD SURROUNDING GALVANIZED TRIM. MAKE GOOD SUBSTRATE.
D11	REMOVE EXISTING WOOD CLADDING. MAINTAIN EXISTING SUPPORT STRUCTURE.
D12	REMOVE EXISTING SIGNAGE AND RETAIN FOR REINSTALLATION.

SEPARATE PRICES

NOTE
THE EXTENT OF THE WORK TO THE SLABS IN THE BASE SCOPE OF WORK CONSISTS OF ROOMS 118 AND 121, INCLUSIVE OF AREAS 1 AND 2.

AREAS 3, 4 AND 5 ARE NOT IN SCOPE.

SEPARATE PRICE 1
REMOVE AND REPLACE ENTIRE FLOOR THROUGHOUT BOTH ROOMS 118 AND 121. ALLOW FOR 100 m² OF FLOORING.



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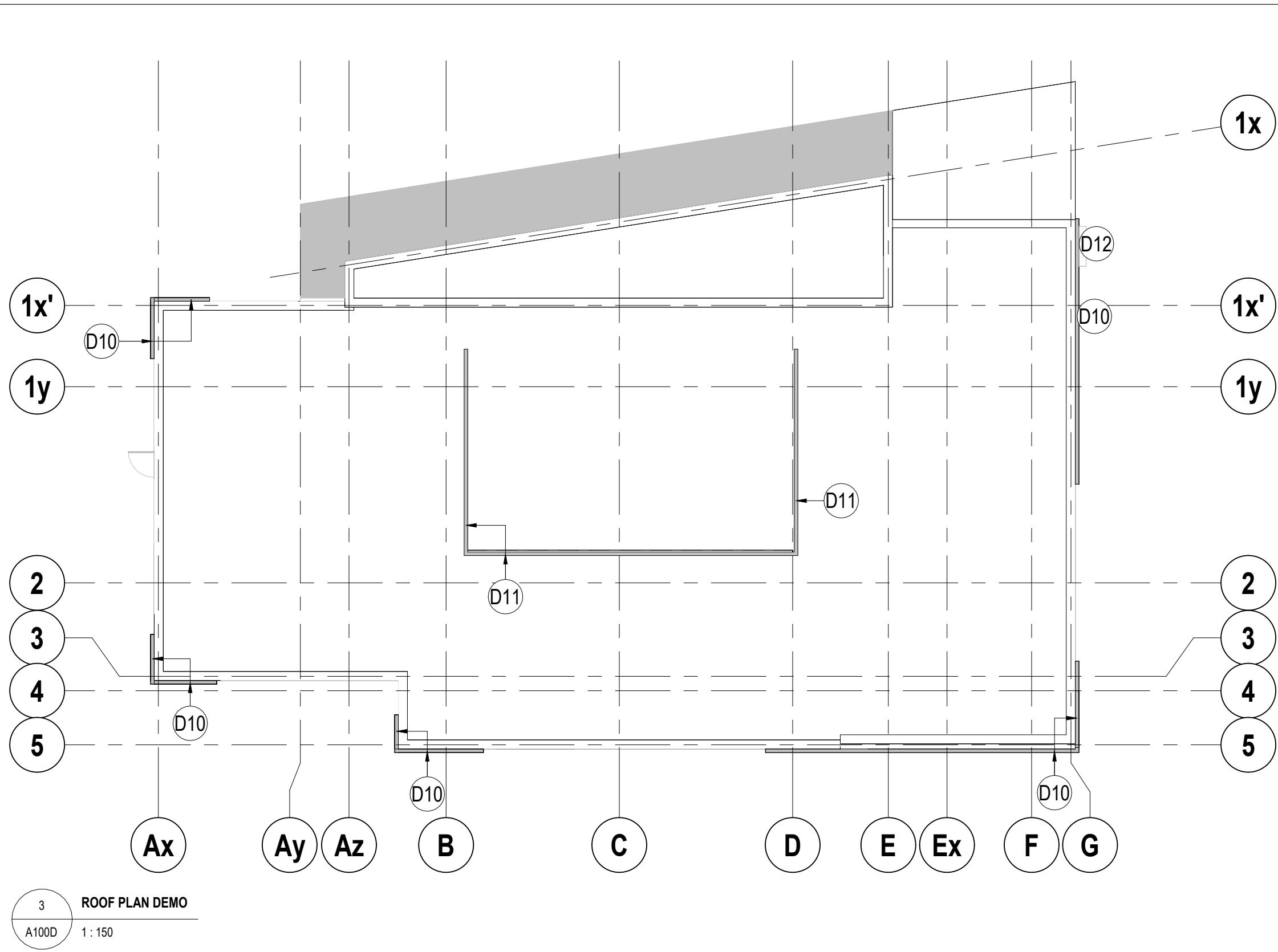
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DEMOLITION PLANS

A100D

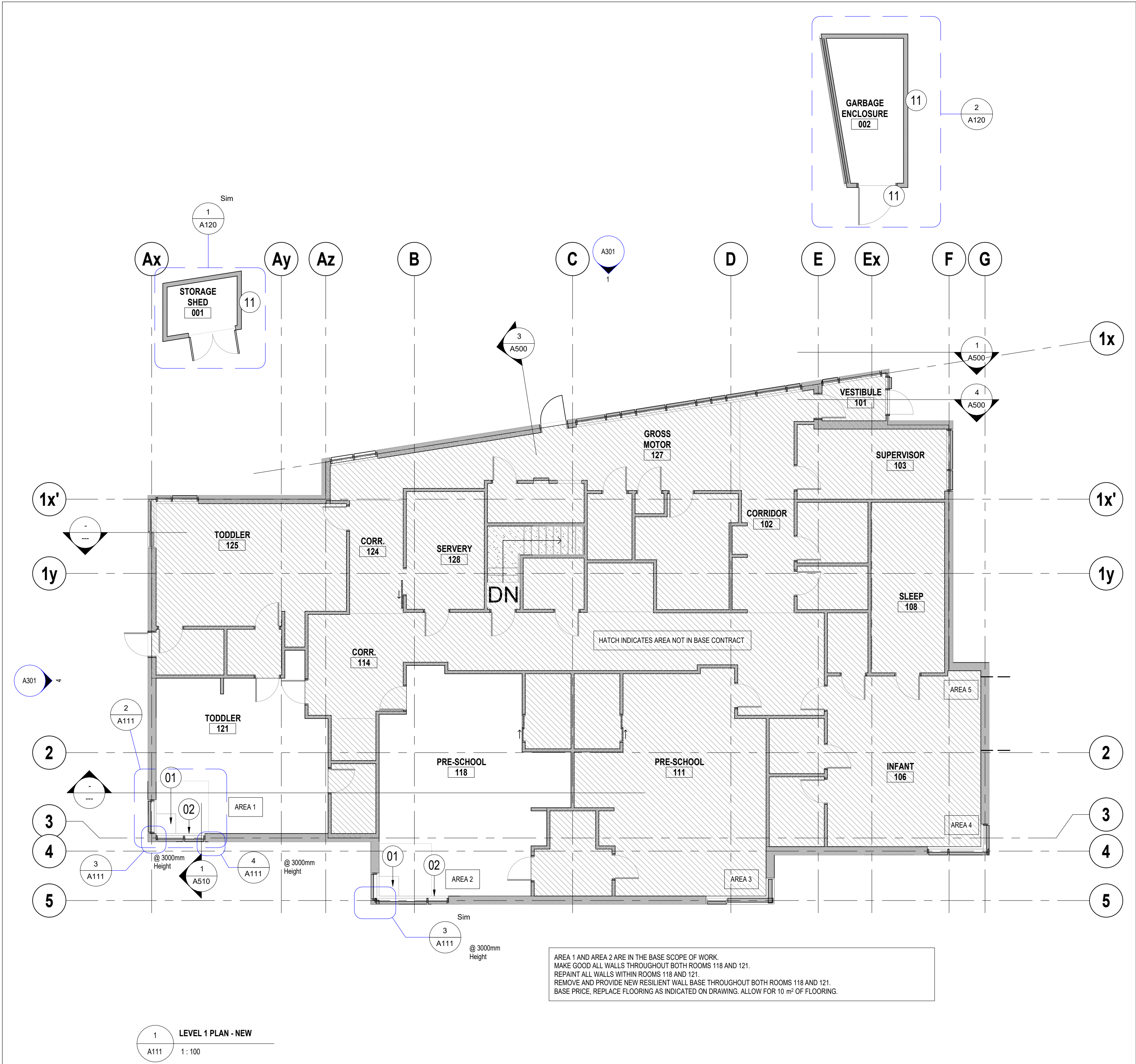
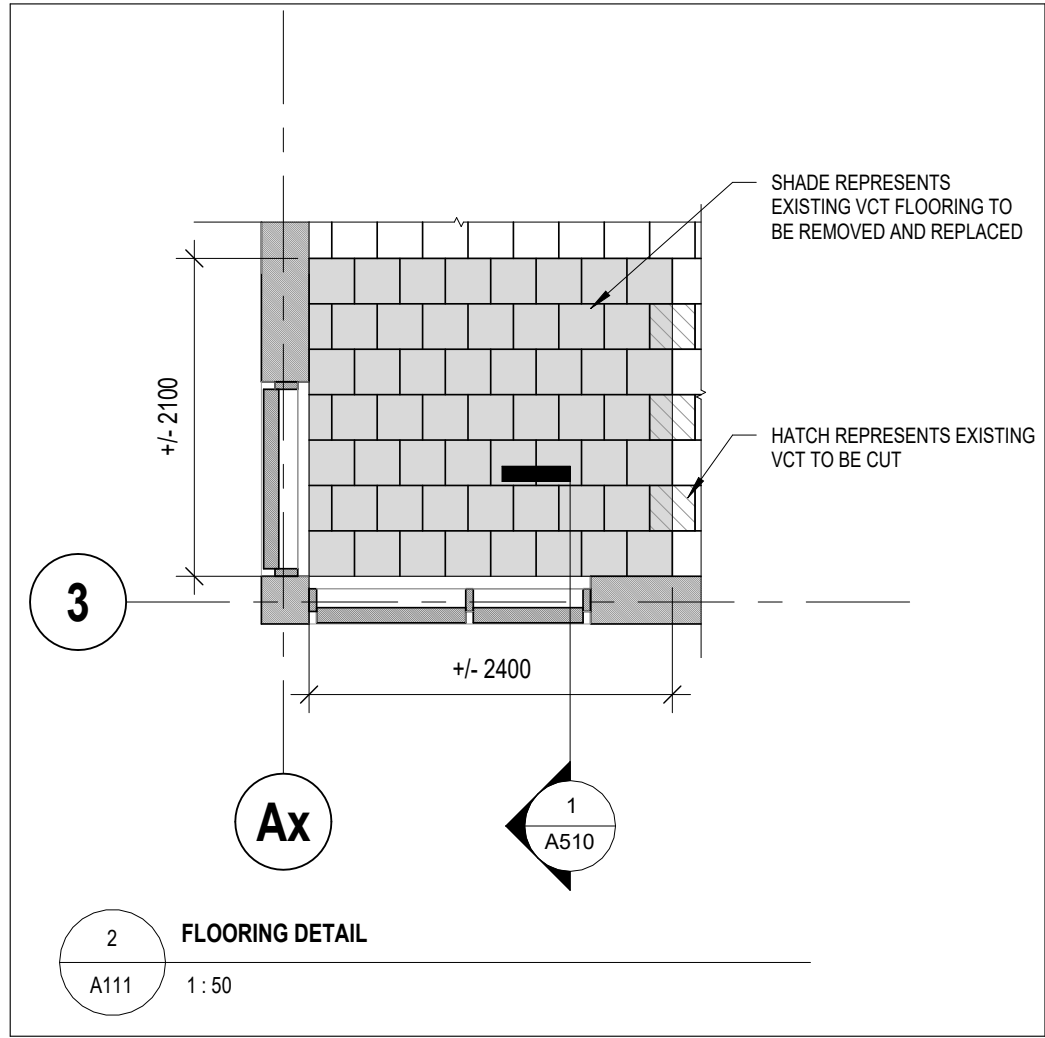
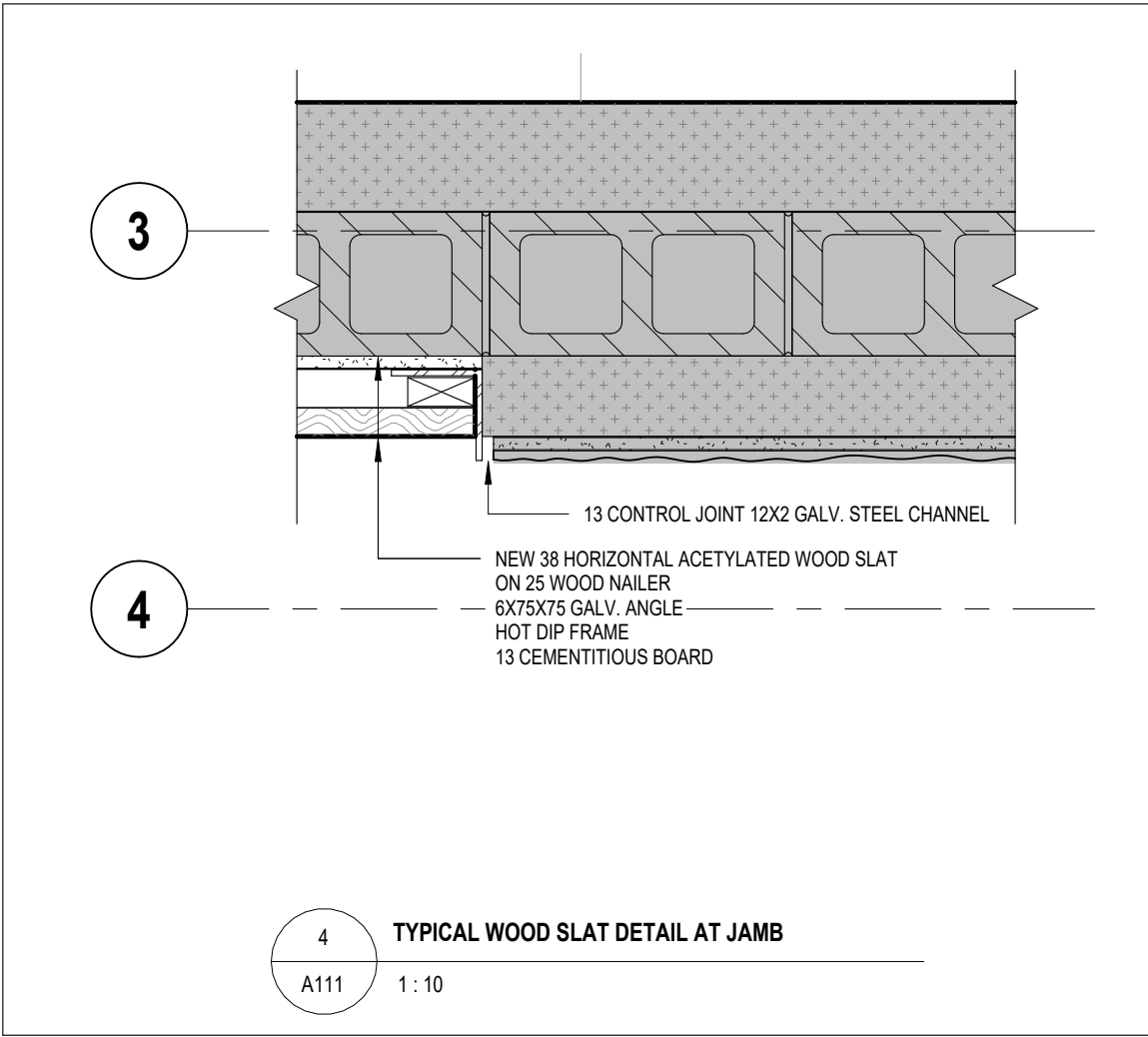
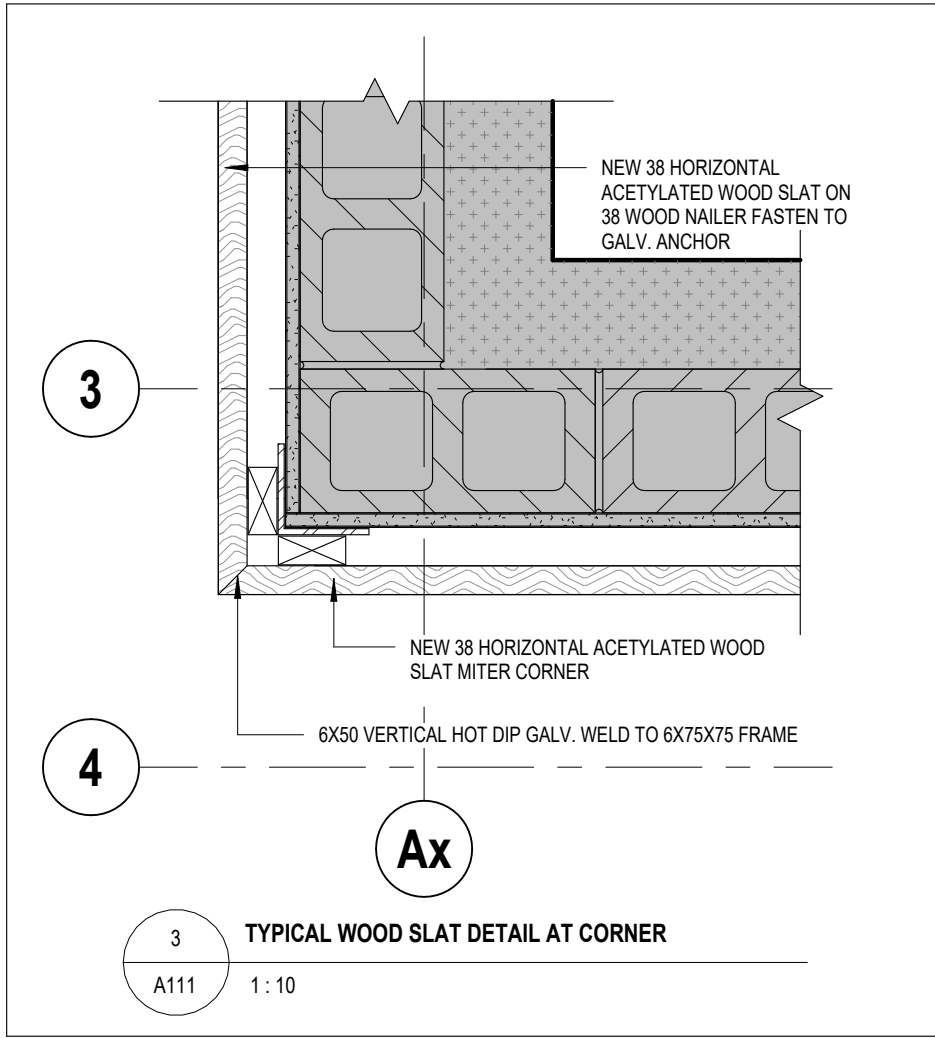


3 ROOF PLAN DEMO
A100D 1:150

GENERAL CONSTRUCTION NOTES

1. ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT BUILDING IS MAINTAINED
2. DIMENSIONS ARE TO:
 - A. FACE OF SHEATHING AT EXTERIOR WALLS
 - B. FACE OF GYPSUM BOARD AT INTERIOR WALLS
 - C. FACE OF CONCRETE BLOCK
3. WINDOW DIMENSION ARE TO WINDOW ROUGH OPENINGS. COORDINATE WINDOW SIZES & ROUGH OPENING REQUIREMENTS WITH WINDOW SUPPLIER
4. GYPSUM BOARD OUTSIDE CORNER BEADS ARE TO BE 90 DEGREE CORNERS AND ALL GYPSUM BOARD SURFACES THAT TERMINATE TO DISSIMILAR MATERIALS, ARE TO HAVE CONTINUOUS MILLCORE EDGING HORIZONTALLY OR VERTICALLY
5. WHERE TWO WALL TYPES ARE "COMMON" TO ONE WALL - CONTRACTOR TO COORDINATE CONSTRUCTION, FINISHES, AND FIRE RATING AS REQUIRED TO PROVIDE CONTINUITY OF FIRE RATED WALLS.
6. FIRE OR SOUND RATED WALL ASSEMBLIES LOCATED ABOVE SUSPENDED CEILINGS SHALL HAVE GYPSUM BOARD JOINTS FIRE TAPED.
7. STEEL STUD INSTALLER TO PROVIDE CROSS BRACING AT ALL INTERIOR WALLS AND BULKHEADS AS REQUIRED. CROSS BRACING TO BE INSTALLED ABOVE CEILING HEIGHT AND SECURED TO STRUCTURE. ALL BRACING OR CROSS BRACING TO BE SPACED AT 1200mm O.C. MAXIMUM.
8. INSULATE ANY STUD SPACE CONTAINING MECHANICAL PIPING IF THE SPACE IS OTHERWISE NOT INSULATED (EVEN IF PIPING ITSELF IS INSULATED).
9. FURRING ON WALLS AND BULKHEADS ABOVE 1400mm A.F.F. SHALL BE 13mm GYPSUM BOARD IN LIEU OF 16mm. ALL FURRING THAT STARTS BELOW 2400mm A.F.F. AND CONTINUES UP MUST REMAIN 16mm.
10. CONTRACTOR TO ENSURE THAT EXIT SIGNS SHALL CONSIST OF A GREEN PHOTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN ISO 3864-1 AND CONFORM TO THE DIMENSIONS INDICATED IN ISO 7010.
11. MAINTAIN EXISTING FIRE ALARM SYSTEM. CONTRACTOR TO ENSURE THAT NEW FIRE ALARM COMPONENTS ARE COMPATIBLE WITH THE EXISTING DEVICES.

01	PROVIDE NEW FLOORING TO EXTENTS SHOWN.
02	MAKE GOOD EXISTING WALLS AND PROVIDE NEW PAINT.
11	PROVIDE NEW ACETYLATED WOOD CLADDING ON EXISTING SUPPORT STRUCTURE.



GENERAL CONSTRUCTION NOTES

1. ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT BUILDING IS MAINTAINED
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11. MAINTAIN EXISTING FIRE ALARM SYSTEM. CONTRACTOR TO ENSURE THAT NEW FIRE ALARM COMPONENTS ARE COMPATIBLE WITH THE EXISTING DEVICES.

10	PROVIDE NEW ACETYLATED WOOD WALL CLADDING.
11	PROVIDE NEW ACETYLATED WOOD CLADDING ON EXISTING SUPPORT STRUCTURE.
12	REINSTALL SIGNAGE ON NEW CLADDING.

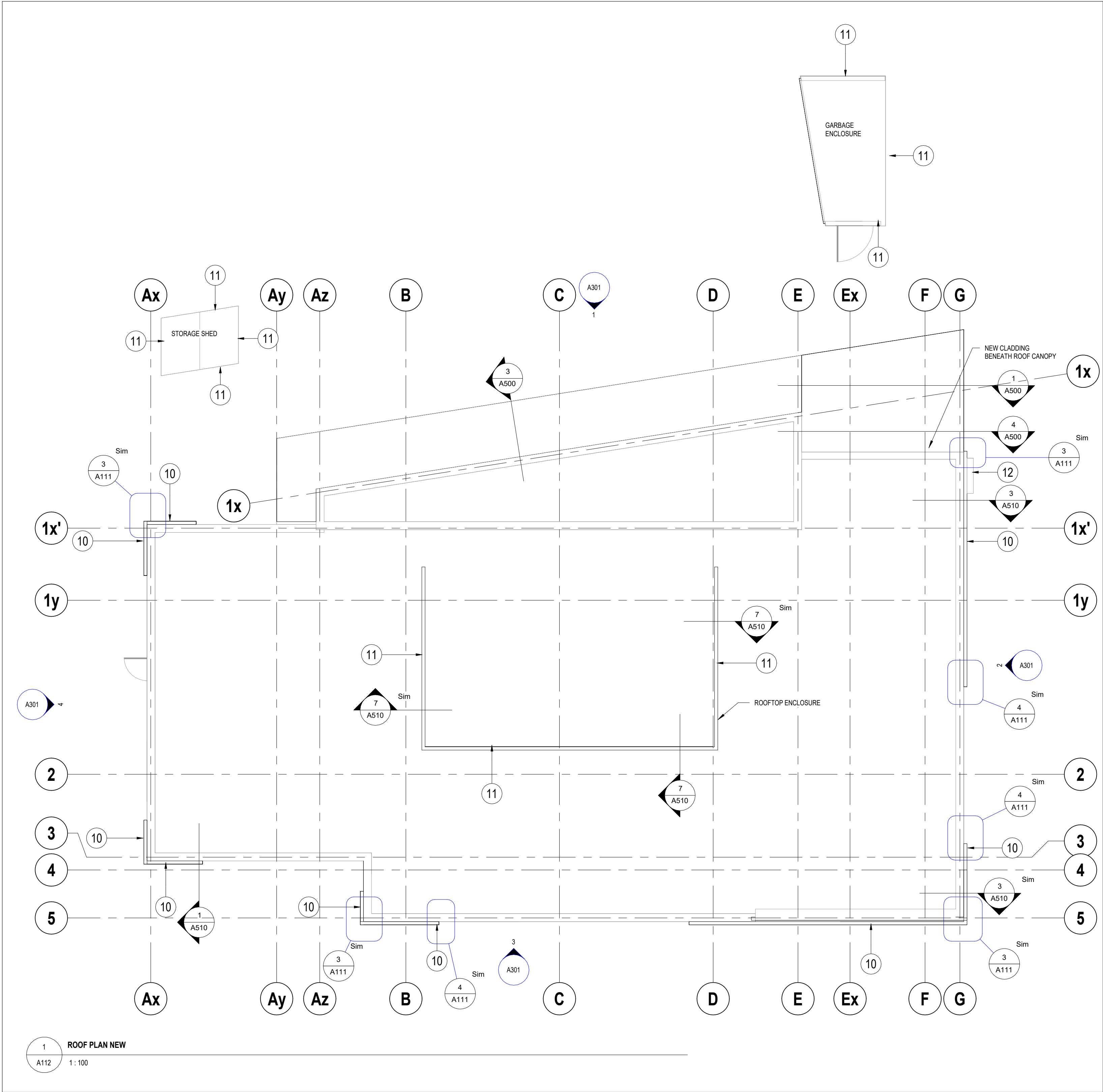
CLADDING NOTES

REMOVE ALL EXISTING WOOD CLADDING ON MAIN BUILDING, AT ROOF ENCLOSURE, GARBAGE ENCLOSURE AND STORAGE SHED AND REPLACE WITH NEW ACETYLATED WOOD CLADDING.
ALL OUTSIDE CORNERS TO BE MITERED.
MAKE GOOD OR PROVIDE NEW 6mm X 75mm X 75mm HOT DIP GALVANIZED STEEL ANGLES AT THE PERIMETER OF ALL ACETYLATED WOOD CLADDING ON UPPER WALLS OF BUILDING.

* SEPARATE PRICING :
- PROVIDE NEW COATING TO ALL STUCCO SURFACES

TYPE 1 - 38x89mm
PROVIDE AT
• UPPER WALLS OF MAIN BUILDING

TYPE 2 - 38x150mm
PROVIDE AT
• GARBAGE ENCLOSURE
• STORAGE SHED
• ROOF ENCLOSURE



Renovation of the Enderby Child
Care Centre

Owner
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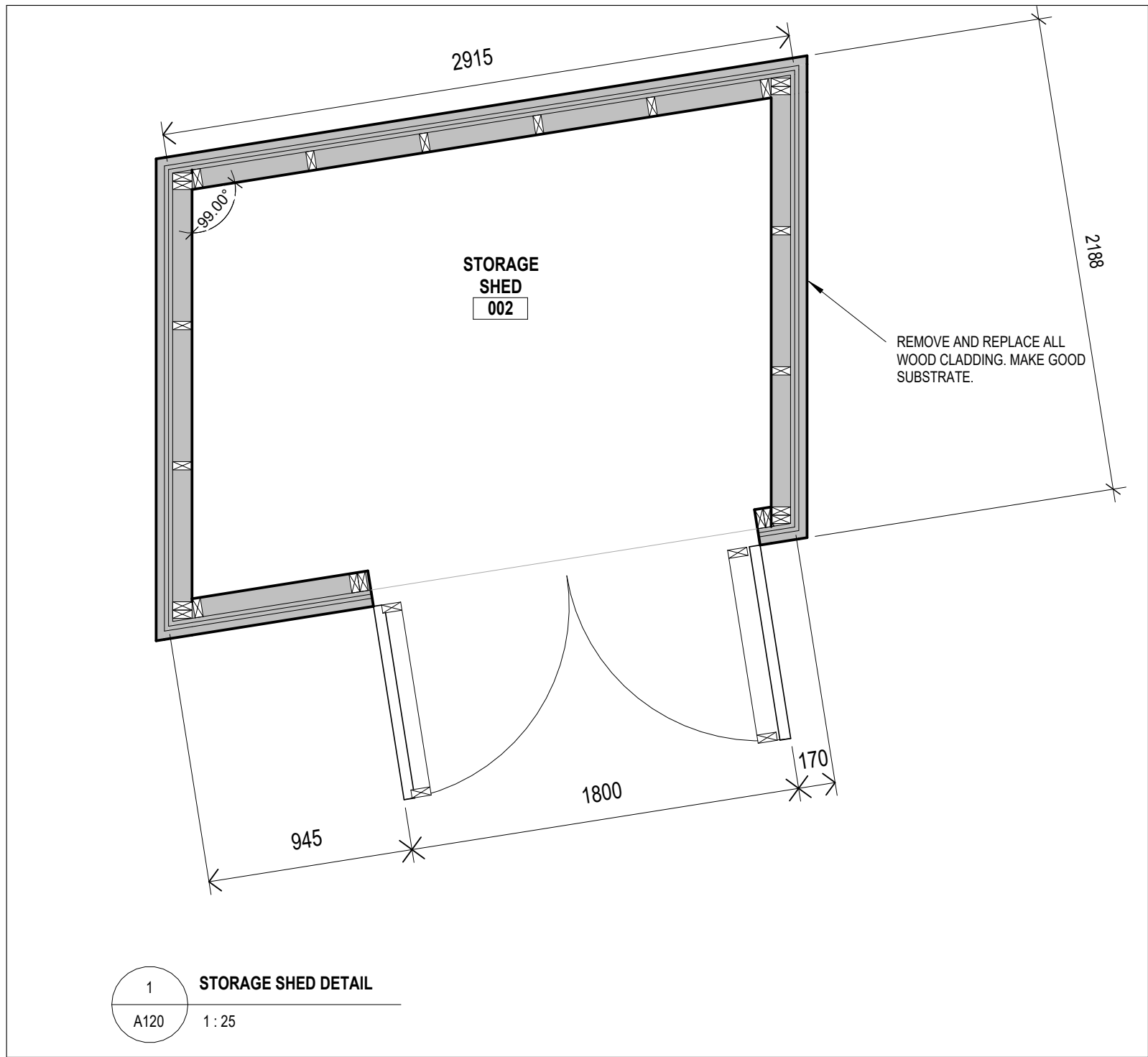
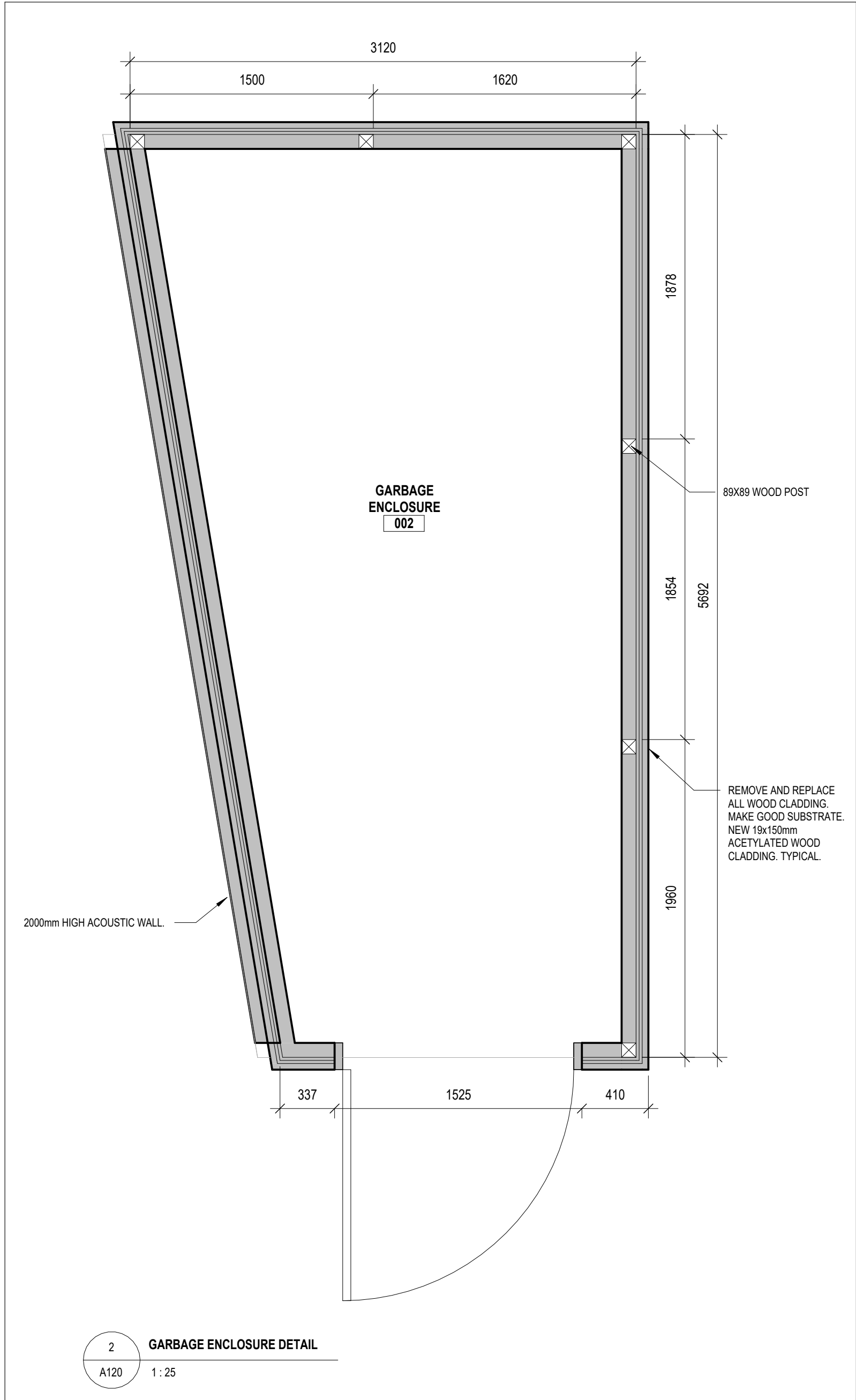
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ROOF PLAN

A112

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CLADDING NOTES

REMOVE ALL EXISTING WOOD CLADDING ON MAIN BUILDING, AT ROOF ENCLOSURE, GARBAGE ENCLOSURE AND STORAGE SHED AND REPLACE WITH NEW ACETYLATED WOOD CLADDING. ALL OUTSIDE CORNERS TO BE MITERED. MAKE GOOD OR PROVIDE NEW 6mm X 75mm X 75mm HOT DIP GALVANIZED STEEL ANGLES AT THE PERIMETER OF ALL ACETYLATED WOOD CLADDING ON UPPER WALLS OF BUILDING.

* SEPARATE PRICING :
- PROVIDE NEW COATING TO ALL STUCCO SURFACES

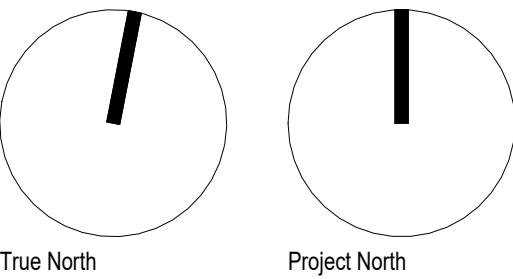
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PROVIDE AT
• UPPER WALLS OF MAIN BUILDING

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SECONDARY STRUCTURE PLANS

A120

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HATCH REPRESENTS EXTENT OF NEW SOFFIT.

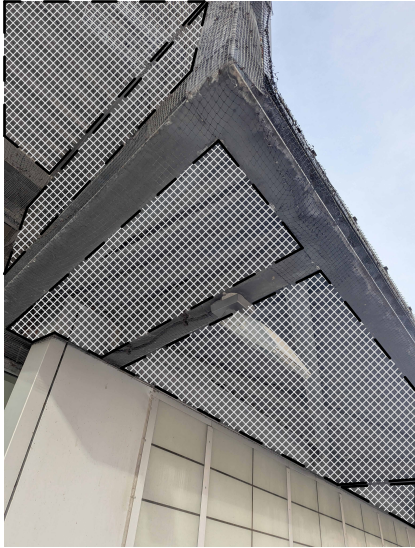


PHOTO OF LOWER SOFFIT AND VERTICAL CONNECTION



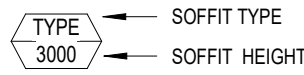
PHOTO OF UPPER SOFFIT



PHOTO OF SOFFITS AND VERTICAL CONNECTION

2 EXISTING IMAGES AT CANOPY
A200 1:20

CEILING LEGEND



CROSS HATCH REPRESENTS
EXTENT OF NEW SOFFIT, TYP.

HATCH REPRESENTS EXTENT OF
BUILDING NOT IN SCOPE FOR
CEILING OR SOFFIT WORK.

CEILING NOTES

- CEILING HEIGHTS FOR EXPOSED STRUCTURE NOTED AS UNDERSIDE OF METAL DECK AND/OR CONCRETE SLAB. REFER TO WALL SECTIONS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FURTHER DUCTING AND LIGHTING INFORMATION.
- ALL CEILING TYPES SHOWN ARE TO BE READ IN CONJUNCTION WITH THE REFLECTED CEILING PLAN FOR HEIGHTS AND INSTALLATION LOCATIONS.
- REFLECTED CEILING PLAN TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS.

12	REINSTALL SIGNAGE ON NEW CLADDING.
20	PROVIDE NEW METAL SOFFIT.
21	REINSTALL REMOVED LIGHT FIXTURES.

CLADDING NOTES

REMOVE ALL EXISTING WOOD CLADDING ON MAIN BUILDING. AT ROOF ENCLOSURE, GARBAGE ENCLOSURE AND STORAGE SHED AND REPLACE WITH NEW ACETYLATED WOOD CLADDING.
ALL OUTSIDE CORNERS TO BE MITERED.
MAKE GOOD OR PROVIDE NEW 6mm X 75mm X 75mm HOT DIP GALVANIZED STEEL ANGLES AT THE PERIMETER OF ALL ACETYLATED WOOD CLADDING ON UPPER WALLS OF BUILDING.

* SEPARATE PRICING :
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PROVIDE AT
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PROVIDE AT
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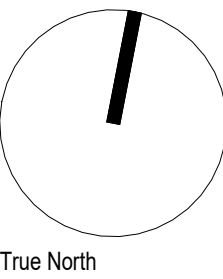
SOFFIT NOTES

- CLEAN AND MAKE GOOD EXPOSED STEEL ADJACENT TO NEW SOFFIT BEFORE PROCEEDING WITH SOFFIT INSTALLATION.
- PROVIDE STEEL STUD FRAMING AS REQUIRED TO SUPPORT SOFFIT. CONFIRM SOFFIT DESIGN WITH STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK.
- PROVIDE 15mm GAP BETWEEN SOFFIT AND ADJACENT STEEL STRUCTURE, TYPICAL.
- PROVIDE AND INSTALL CONTINUOUS STAINLESS STEEL WIRE MESH (MINIMUM WIRE DIAMETER 0.56 MM) BEHIND THE WOOD SOFFIT. ENSURE THAT THE MESH EXTENDS AT LEAST 150mm BEYOND ALL OPENINGS AND FULLY COVERS ALL VENTILATION HOLES.
- UNDERSIDE OF SOFFIT TO ALIGN WITH UNDERSIDE OF ADJACENT STEEL STRUCTURE.

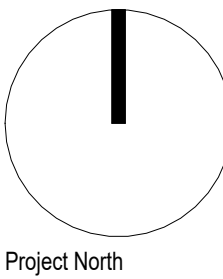
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Toronto, ON M4M 1K9
(437) 916-9272



True North



Project North

Renovation of the Enderby Child Care Centre

Owner
118 Enderby Road, Toronto, ON M4E 2S6

2503	No.	Date	Description
2	19NOV25	IFT	

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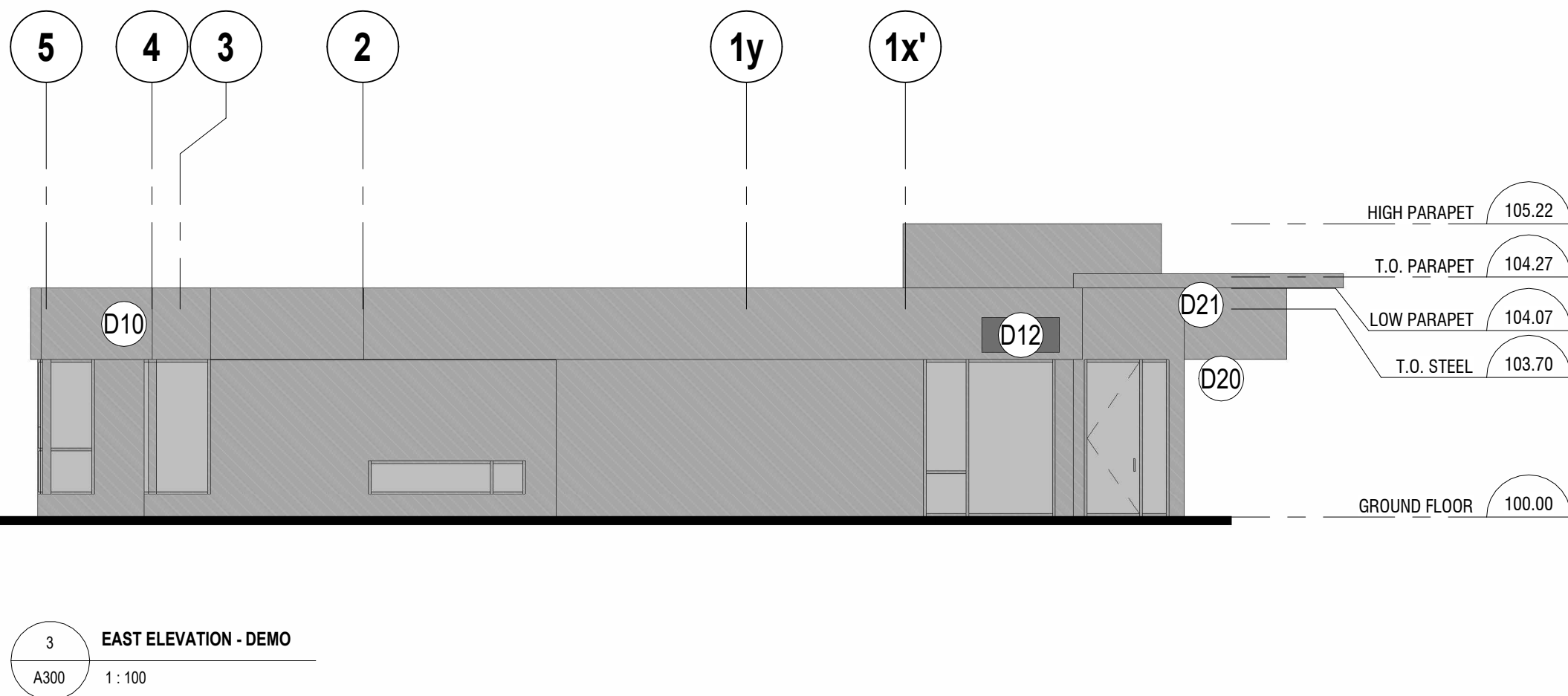
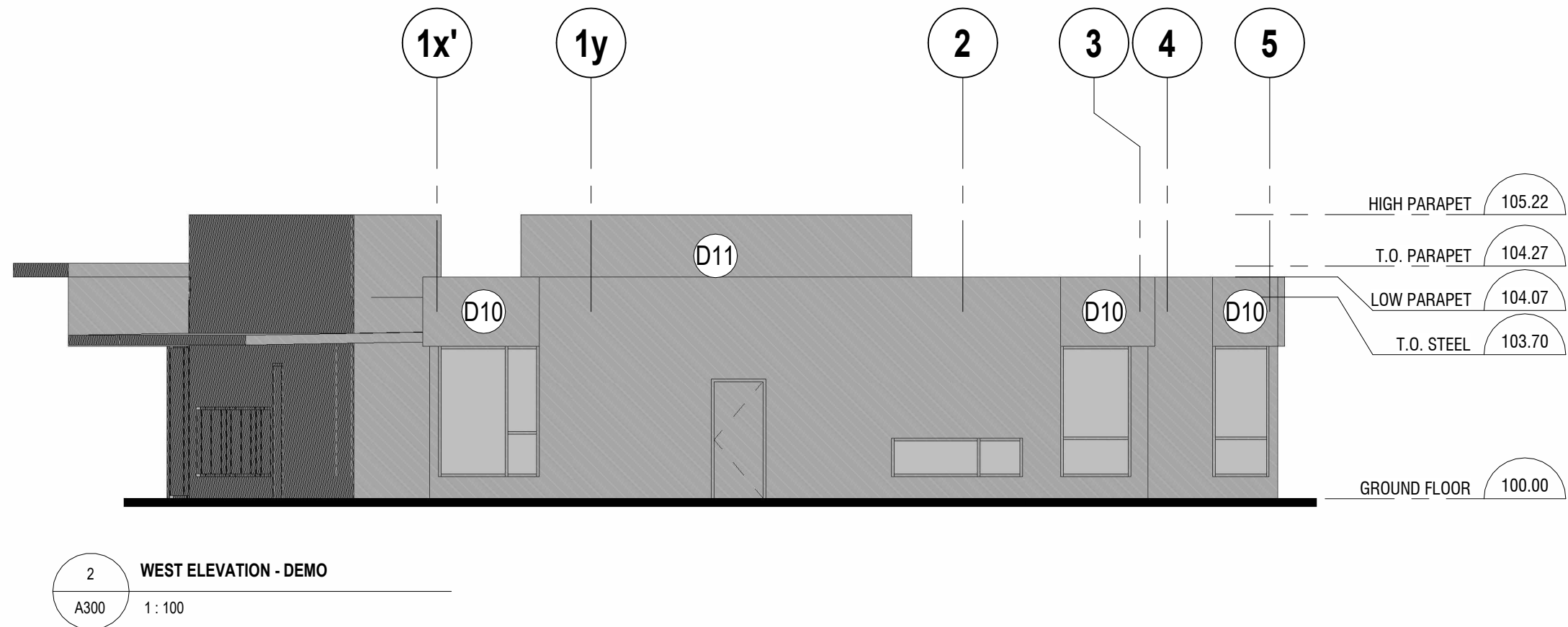
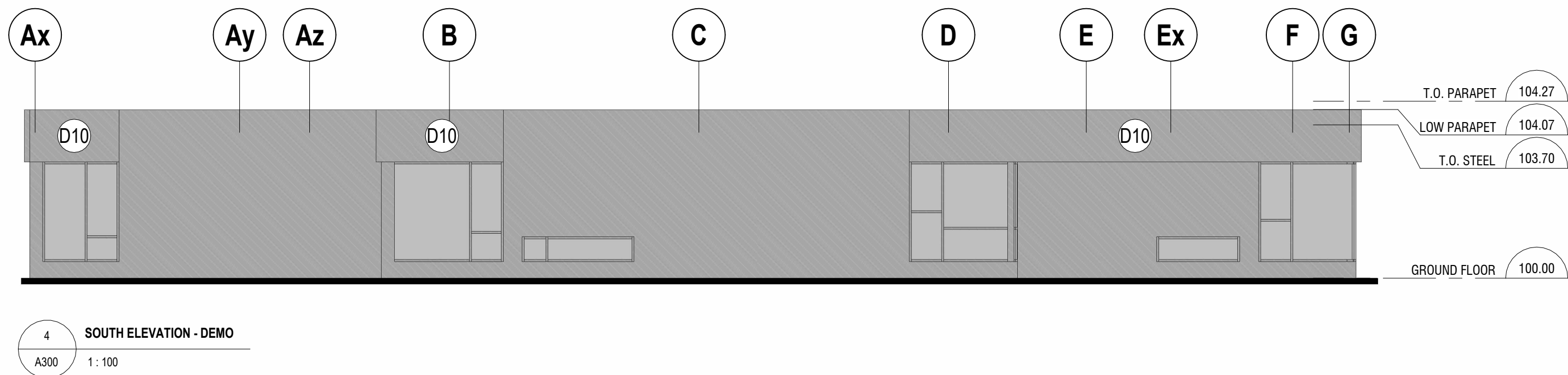
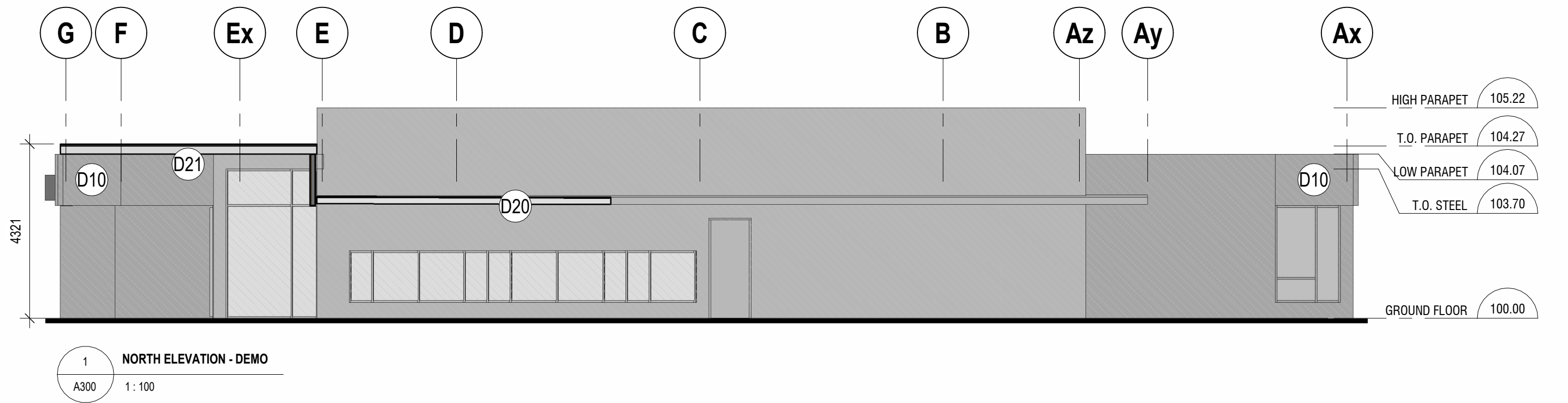
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REFLECTED CEILING PLAN

A200

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D10



D10



D10

D10



D10

D21

D12

GALVANIZED TRIM TO
REMAIN, TYPICAL.

5 EXTERIOR DEMOLITION PHOTOS
A300 1:25

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL

DEMOLITION NOTES

- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE OR PART THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND IS TO REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES (UNLESS NOTED OTHERWISE).
- ARCHITECTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
- PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.
- MAINTAIN WORK AREAS AND STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES.
- REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
- DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
- MAINTAIN EXISTING FIRE SUPPRESSION SYSTEMS AND EQUIPMENT.
- MAINTAIN FIRE SEPARATIONS AND FIRE RATINGS. MAKE GOOD ANY DAMAGE TO CEILING CEMENTITIOUS FIRE SPRAY.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
- CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.

D10	REMOVE EXISTING WALL CLADDING AND MAINTAIN AND MAKE GOOD SURROUNDING GALVANIZED TRIM. MAKE GOOD SUBSTRATE.
D11	REMOVE EXISTING WOOD CLADDING. MAINTAIN EXISTING SUPPORT STRUCTURE.
D12	REMOVE EXISTING SIGNAGE AND RETAIN FOR REINSTALLATION.
D20	REMOVE EXISTING LIGHT FIXTURES AND RETAIN FOR REINSTALLATION.
D21	REMOVE EXISTING NETTING AT SOFFIT.

SOCA STUDIO OF CONTEMPORARY ARCHITECTURE

LAPTISTE ARCHITECTURE INC.

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(437) 916-9272

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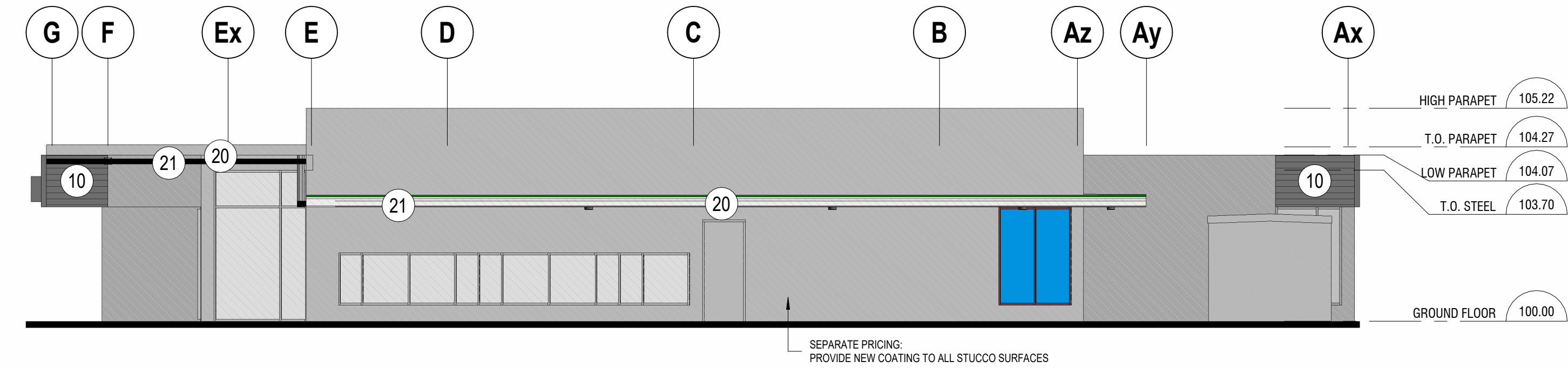
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EXTERIOR ELEVATIONS - DEMO

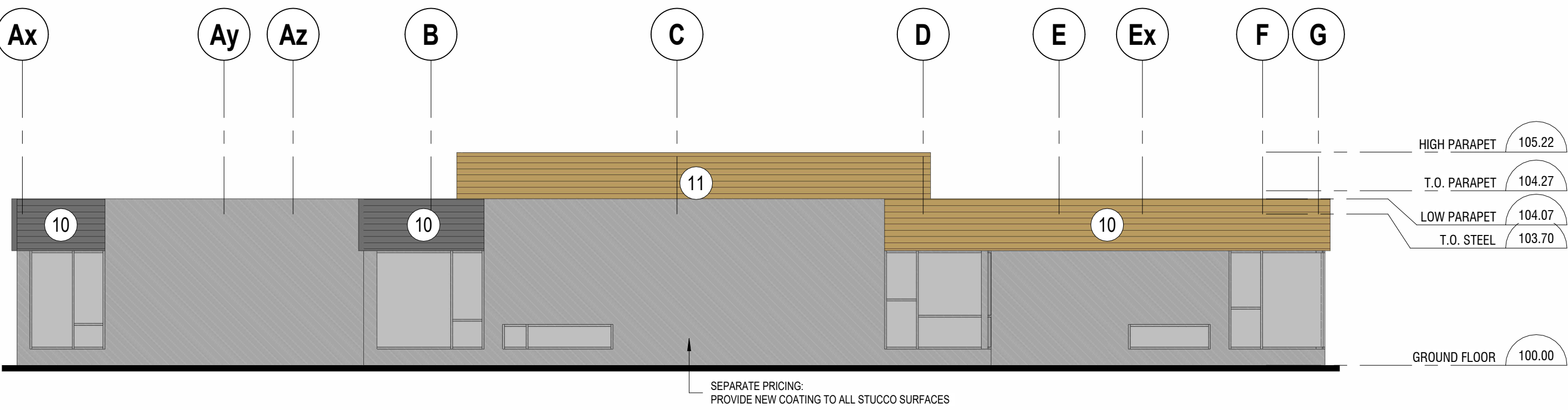
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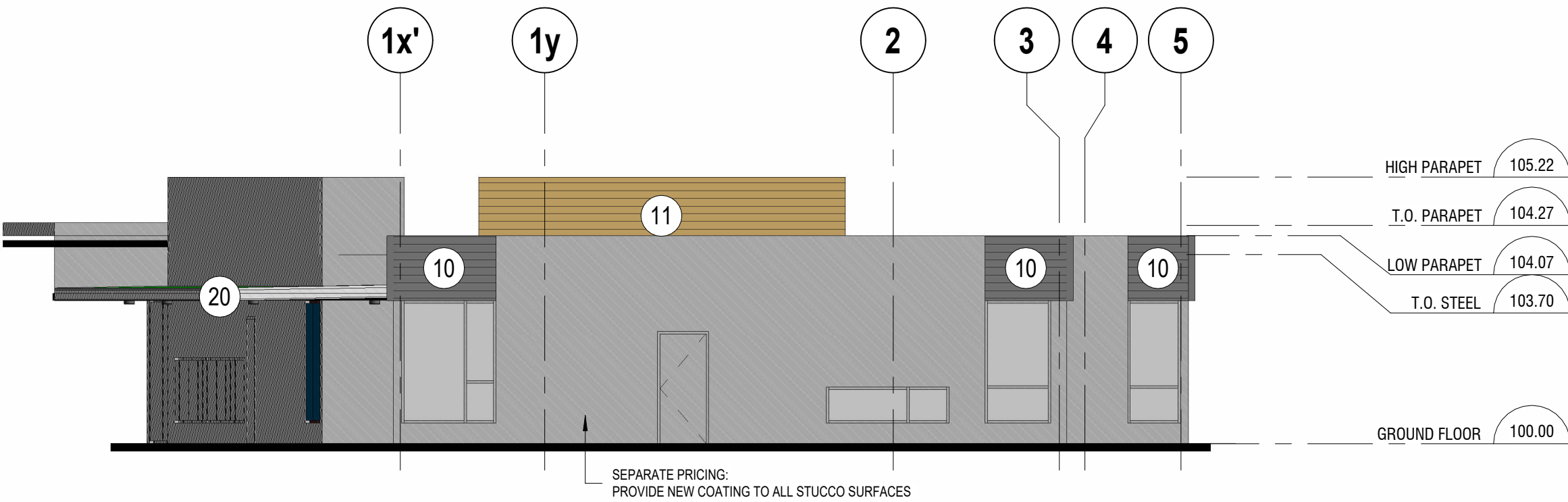
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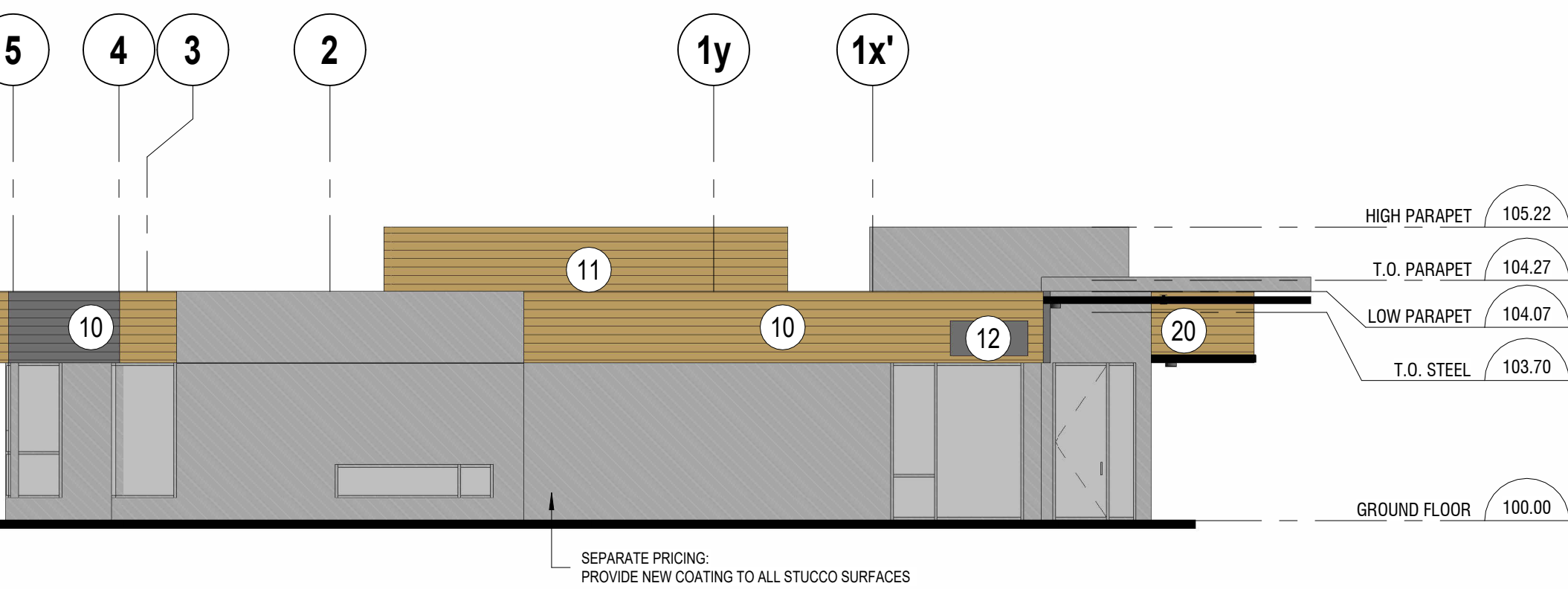
1 NORTH ELEVATION - NEW
A301 1 : 100



3 SOUTH ELEVATION - NEW
A301 1 : 100



4 WEST ELEVATION - NEW
A301 1 : 100



2 EAST ELEVATION - NEW
A301 1 : 100

ELEVATION LEGEND + NOTES

10	PROVIDE NEW ACETYLATED WOOD WALL CLADDING.
11	PROVIDE NEW ACETYLATED WOOD CLADDING ON EXISTING SUPPORT STRUCTURE.
12	REINSTALL SIGNAGE ON NEW CLADDING.
20	PROVIDE NEW METAL SOFFIT.
21	REINSTALL REMOVED LIGHT FIXTURES.

CLADDING NOTES

REMOVE ALL EXISTING WOOD CLADDING ON MAIN BUILDING, AT ROOF ENCLOSURE, GARBAGE ENCLOSURE AND STORAGE SHED AND REPLACE WITH NEW ACETYLATED WOOD CLADDING.
ALL OUTSIDE CORNERS TO BE MITERED.
MAKE GOOD OR PROVIDE NEW 6mm X 75mm X 75mm HOT DIP GALVANIZED STEEL ANGLES AT THE PERIMETER OF ALL ACETYLATED WOOD CLADDING ON UPPER WALLS OF BUILDING.

* SEPARATE PRICING :
- PROVIDE NEW COATING TO ALL STUCCO SURFACES

TYPE 1 - 38x89mm
PROVIDE AT
- UPPER WALLS OF MAIN BUILDING

TYPE 2 - 38x150mm
PROVIDE AT
- GARBAGE ENCLOSURE
- STORAGE SHED
- ROOF ENCLOSURE

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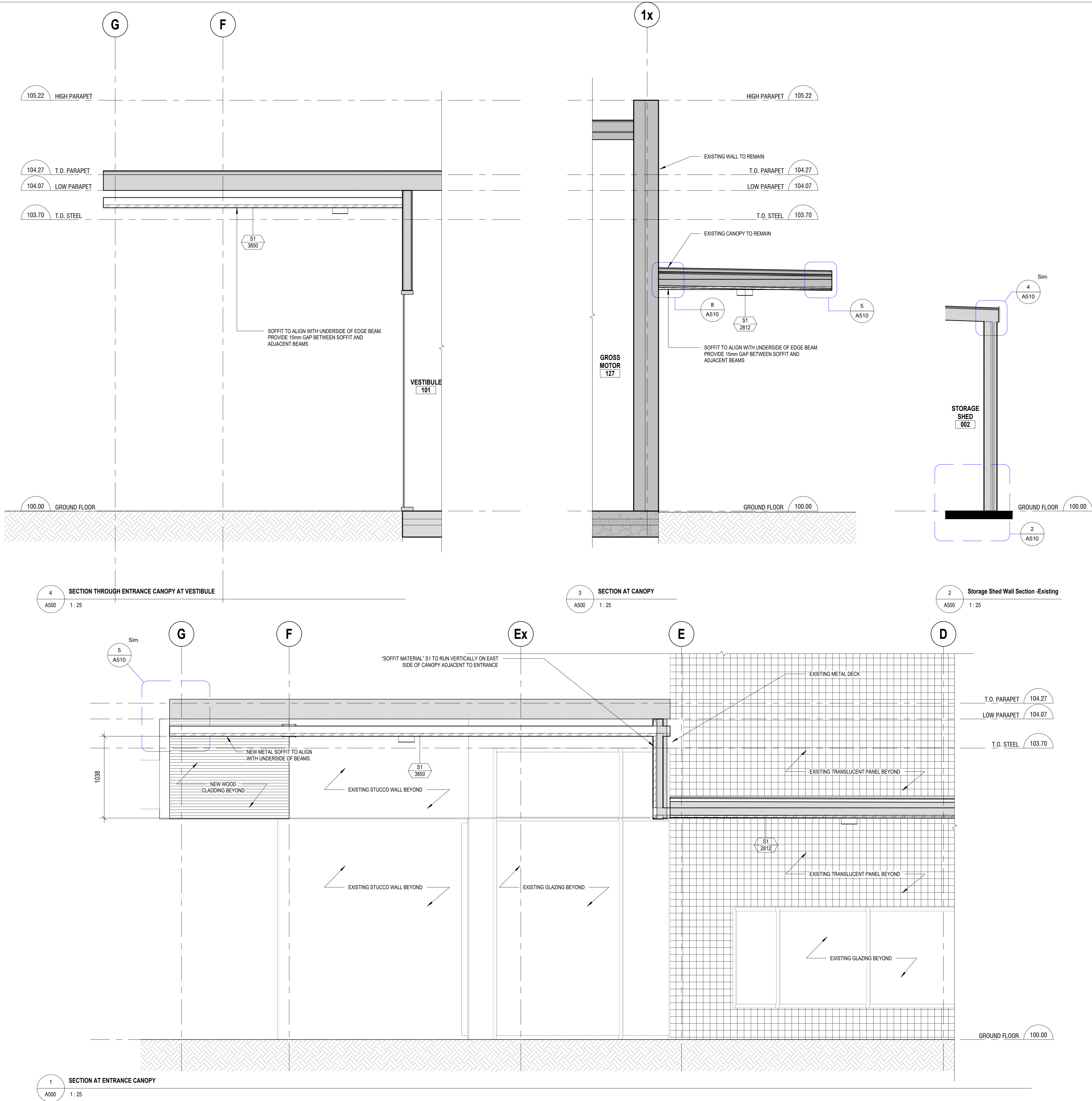
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EXTERIOR ELEVATIONS - NEW

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SOFFIT NOTES

- CLEAN AND MAKE GOOD EXPOSED STEEL ADJACENT TO NEW SOFFIT BEFORE PROCEEDING WITH SOFFIT INSTALLATION.
- PROVIDE STEEL STUD FRAMING AS REQUIRED TO SUPPORT SOFFIT. CONFIRM SOFFIT DESIGN WITH STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK.
- PROVIDE 15mm GAP BETWEEN SOFFIT AND ADJACENT STEEL STRUCTURE. TYPICAL.
- PROVIDE AND INSTALL CONTINUOUS STAINLESS STEEL WIRE MESH (MINIMUM WIRE DIAMETER 0.56 MM) BEHIND THE WOOD SOFFIT. ENSURE THAT THE MESH EXTENDS AT LEAST 150 mm BEYOND ALL OPENINGS AND FULLY COVERS ALL VENTILATION HOLES.
- UNDERSIDE OF SOFFIT TO ALIGN WITH UNDERSIDE OF ADJACENT STEEL STRUCTURE.

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EXTERIOR WALL SECTIONS

A500

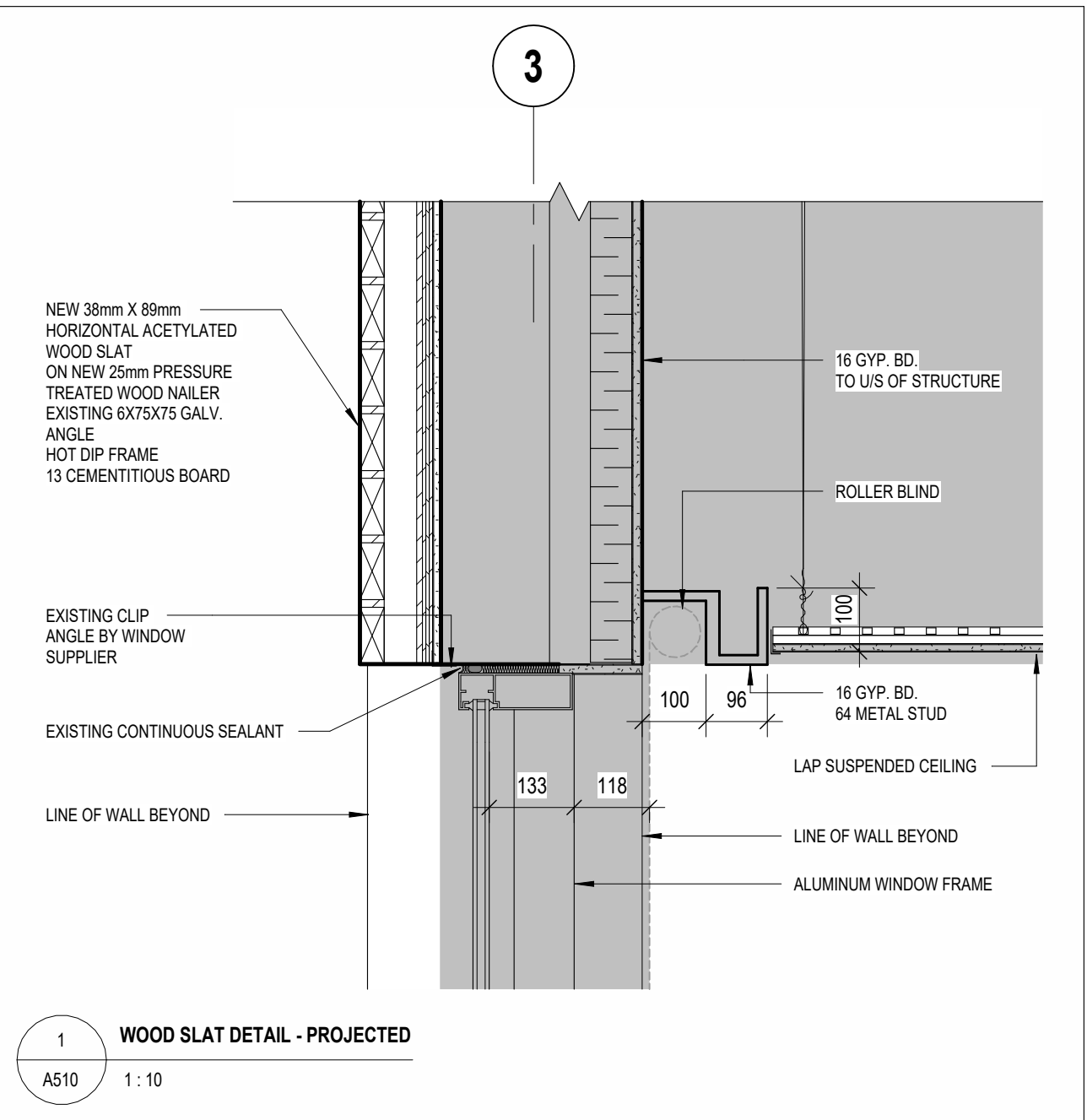
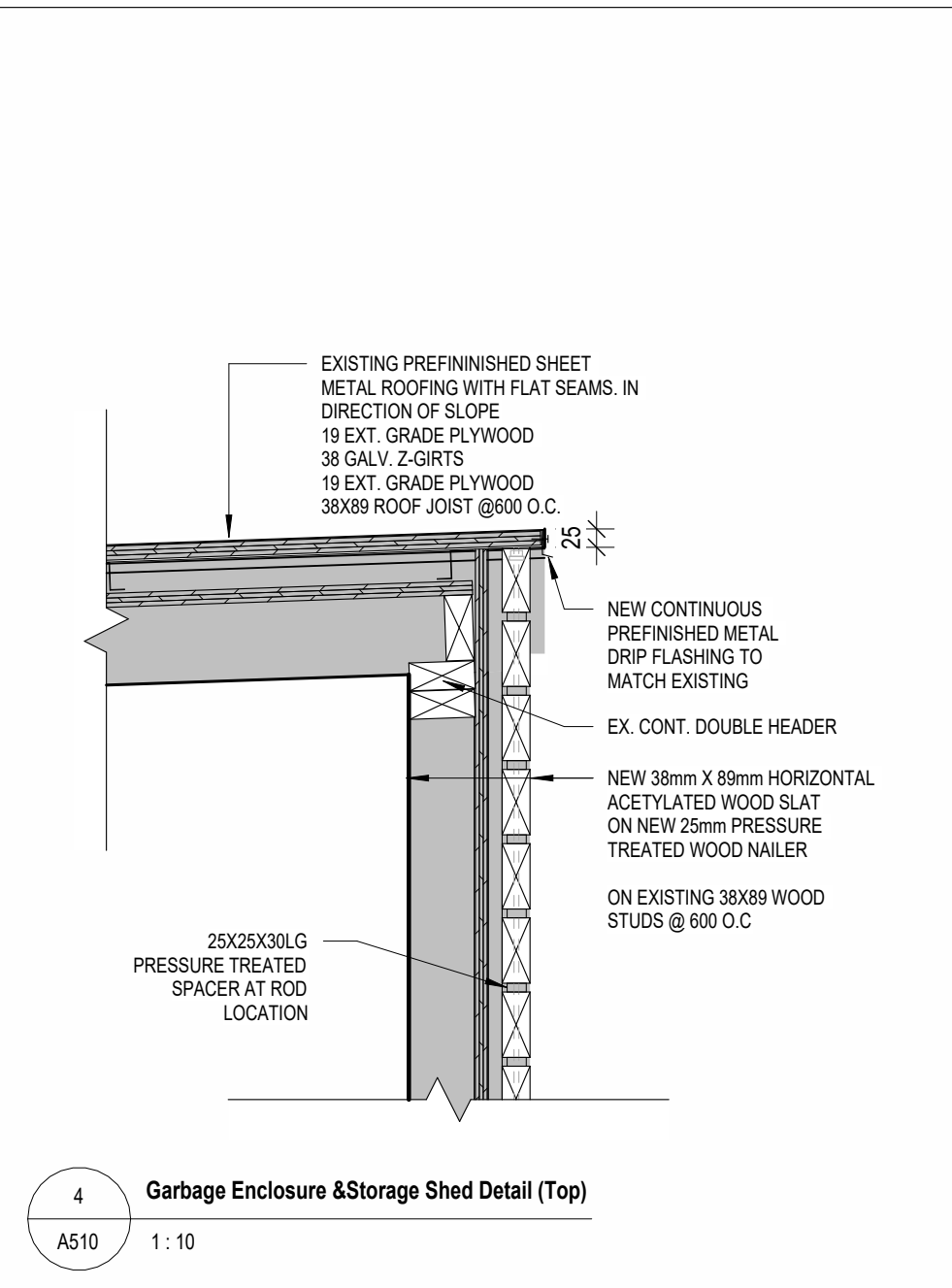
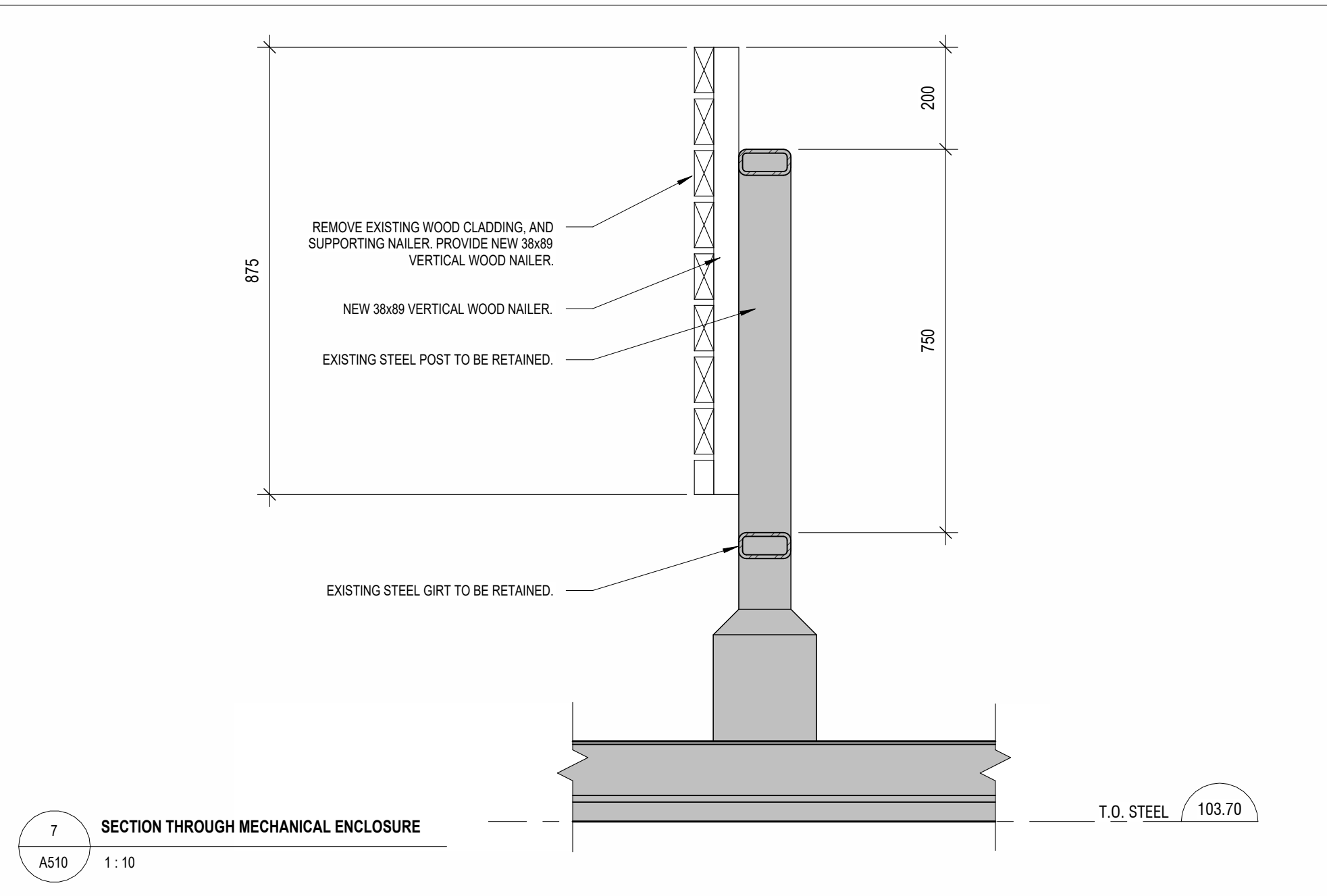
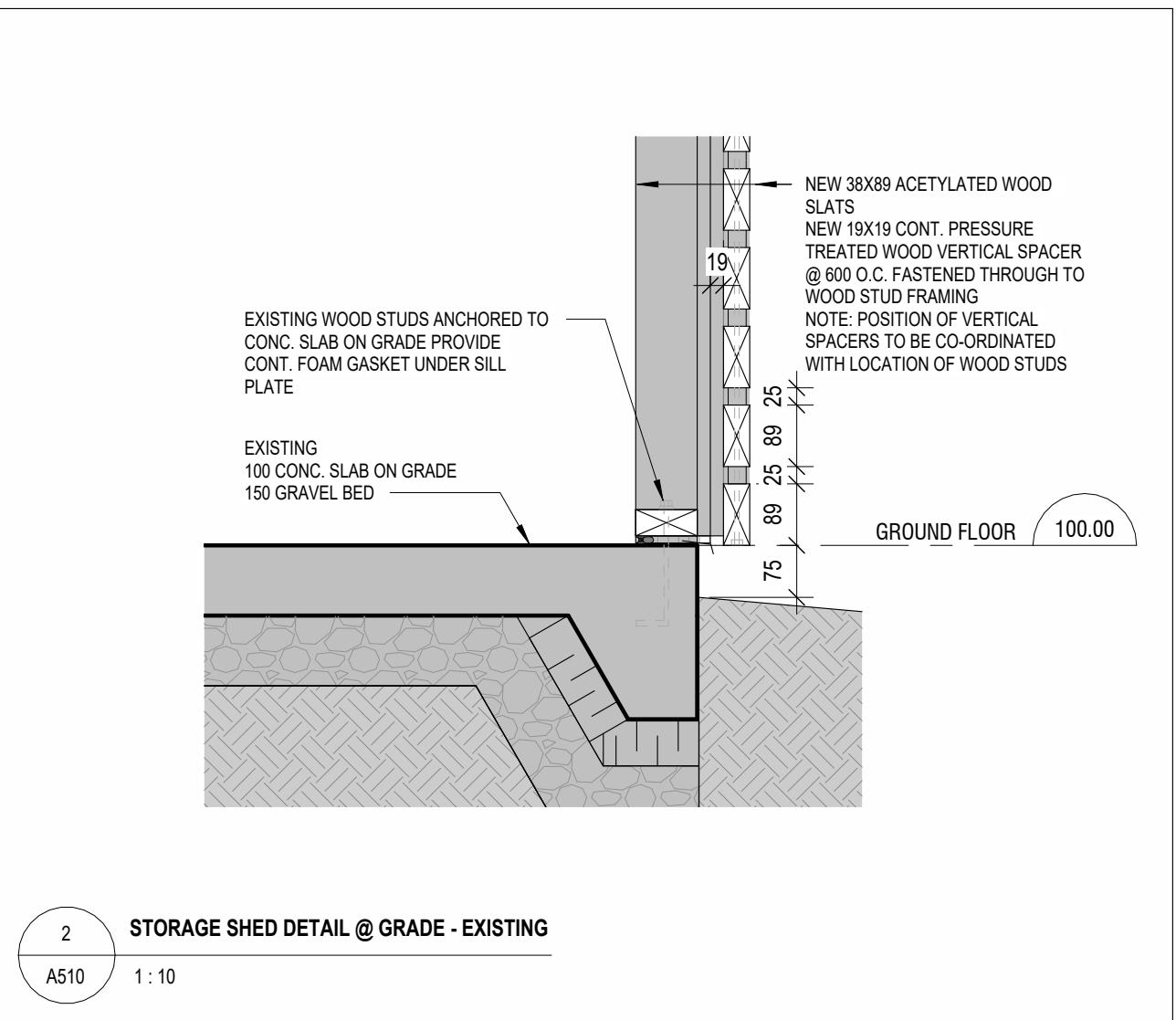
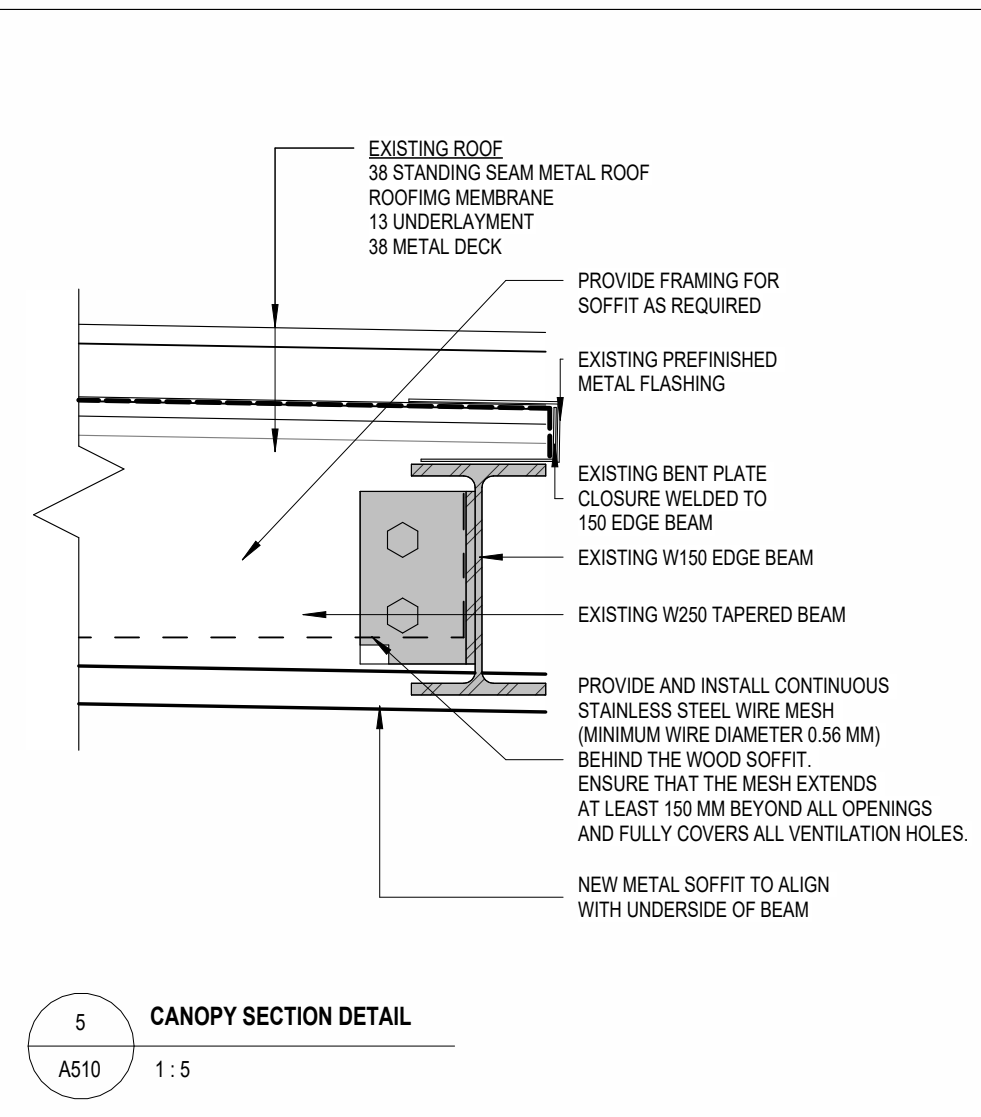
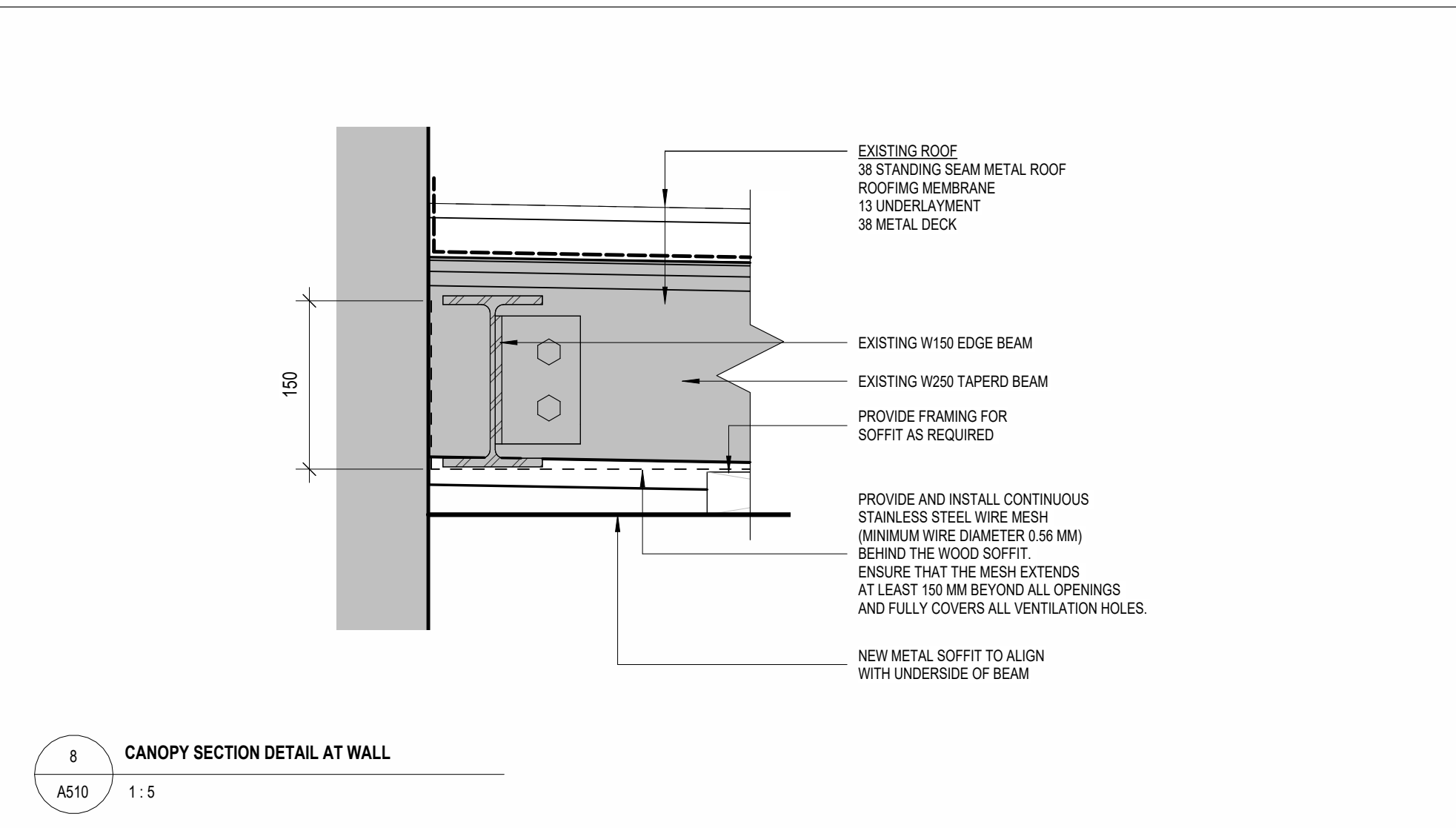
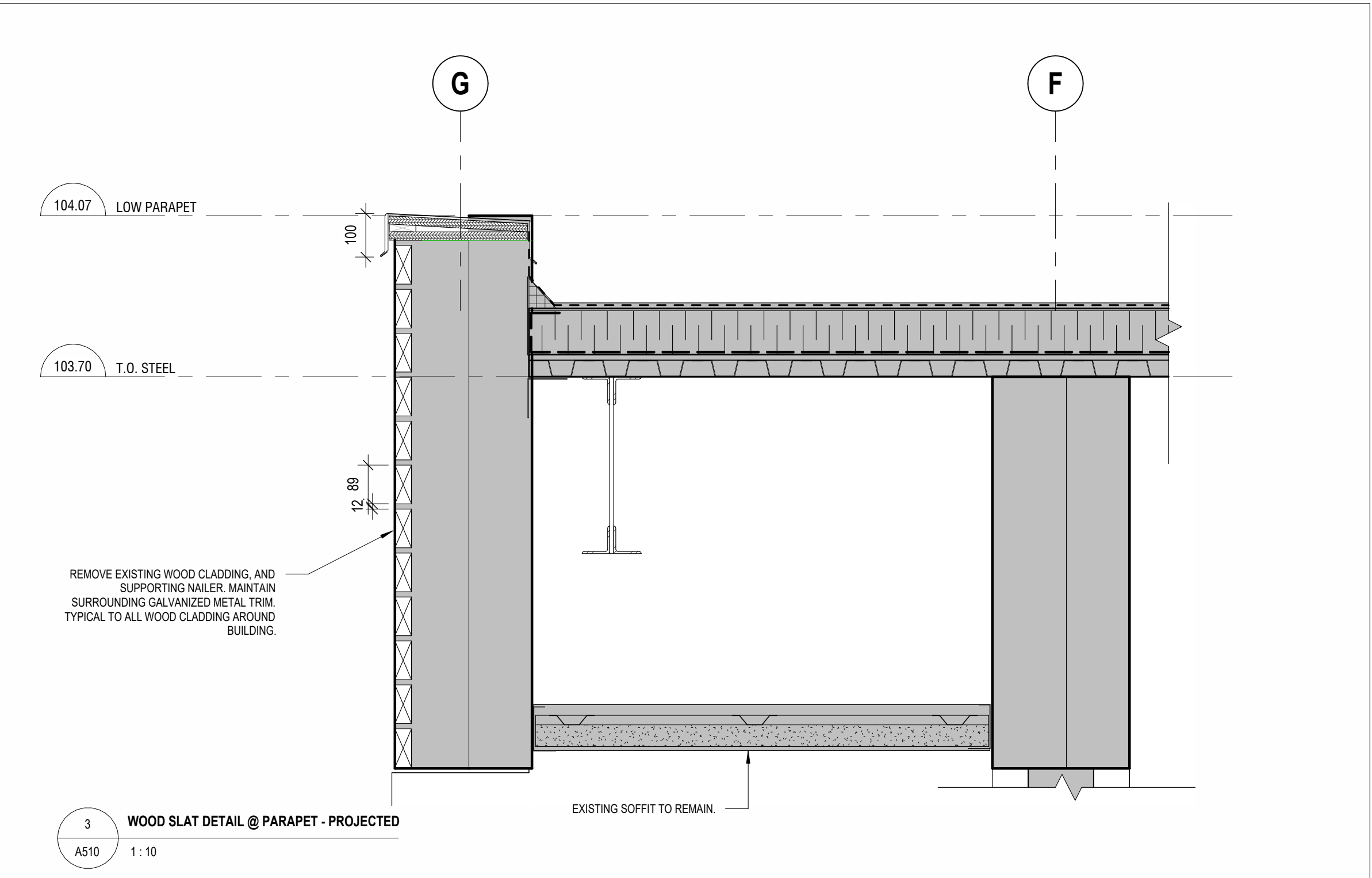
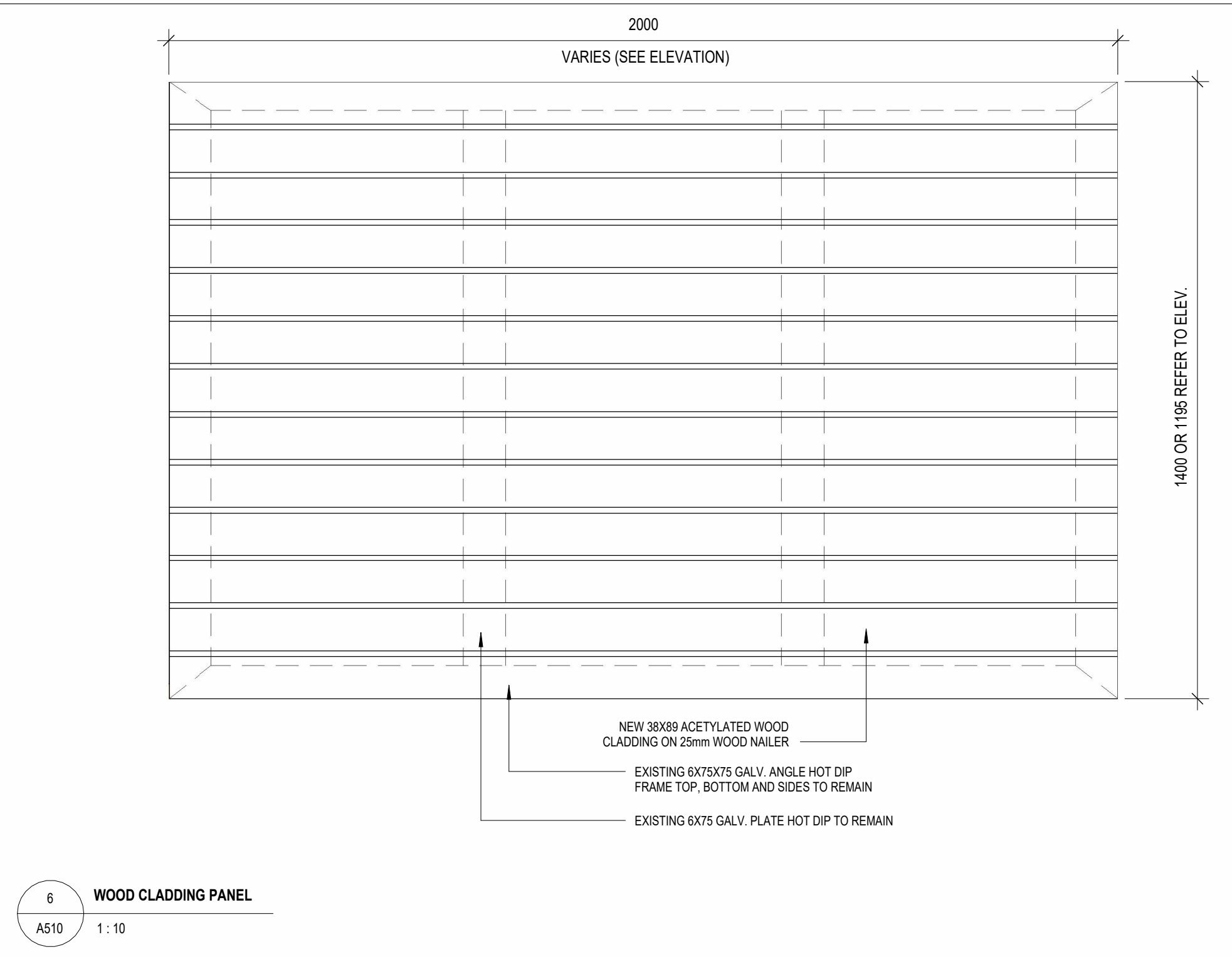
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SECTION DETAILS

A510



LIST OF DRAWINGS :

GENERAL NOTES

S1LEVEL 1 PLAN AND APPROXIMATE AREA OF WORK

S2PART PLAN AND SECTIONS

1.0GENERAL NOTES :

(THESE NOTES APPLY TO ALL PHASES / ASPECTS OF THE PROJECT)

1. THESE DRAWINGS ARE TO PROVIDE A SCHEMATIC REPRESENTATION OF THE APPROXIMATE LAYOUT OF THE BUILDING IN THE AREAS OF WORK.

2. THE CONTRACTOR MUST REVIEW AND CONFIRM THE EXTENT OF EXISTING SITE CONDITIONS THAT WILL AFFECT OR WILL REQUIRE ADJUSTMENT IN ORDER TO COMPLETE THE WORK AS SHOWN IN THE DOCUMENTS PRIOR TO BIDDING.

3. DISCREPANCIES, AMBIGUITIES OR OMISSIONS IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY.

4. PARTIAL COPIES OF THE ORIGINAL CONSTRUCTION DRAWINGS ARE AVAILABLE FOR VIEWING AND REFERENCE PURPOSES ONLY. DO NOT SCALE FROM THIS DRAWING OR RELY ON ANY DRAWINGS AS ACCURATELY REFLECTING THE AS-BUILT CONDITION.

5. THE EXTENT OF WORK IS AS SHOWN ON THE DRAWINGS, AND AS DIRECTED BY THE CONSULTANT.

6. HOARDING, DUST PROTECTION, SITE PROTECTION AND CONSTRUCTION SIGNAGE IS TO BE INSTALLED AROUND SITE AND AREAS OF WORK PRIOR TO COMMENCING WORK IN CONFORMANCE WITH PROJECT GENERAL REQUIREMENTS.

7. THIS SET OF DRAWINGS DOES NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND AROUND THE JOB SITE DURING CONSTRUCTION, AND FOR THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES REQUIRED TO COMPLETE THE WORK.

8. THE USE OF THESE DRAWINGS IS LIMITED TO THE EXTENT IDENTIFIED IN THE REVISIONS COLUMNS. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" BY READ JONES CHRISTOFFERSEN LTD.

9. ALL DIMENSIONS TAKEN FROM THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SUCH MEASUREMENTS AND REPORT TO THE ENGINEER IN WRITING ALL DISCREPANCIES BETWEEN THE MEASUREMENTS AT THE BUILDING AND THOSE SHOWN ON THE DRAWINGS PRIOR TO COMMENCING THE WORK.

10. THE CONTRACTOR SHALL REVIEW ALL THE DRAWINGS AND CHECK THE DIMENSIONS BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE SITE CONDITION TO THE CONSULTANT IMMEDIATELY.

11. SECTION MARK SHOWN THUS

1

S2

 DENOTES SECTION 1 ON DRAWING S2.

12. THE ENGINEERING FIELD SERVICES: THE ENGINEER WILL PROVIDE FIELD SERVICE DURING THE CONSTRUCTION PHASE OF THE WORK TO SATISFY THEMSELVES, BY MEANS OF A RATIONAL SAMPLING PROCEDURE WHICH THEY IN THEIR SOLE DISCRETION CONSIDER NECESSARY, TO DETERMINE THAT THE CONTRACTOR IS CARRYING OUT THAT WORK IN GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE FIELD SERVICES PROVIDED APPLY ONLY TO THAT WORK SHOWN ON RJC'S DRAWINGS. THE PERFORMANCE OF THE CONTRACT IS NOT THE ENGINEER'S RESPONSIBILITY. NOR ARE THE FIELD SERVICES RENDERED FOR THE CONTRACTOR'S BENEFIT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND PERFORMING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

13. THE CONTRACTOR WILL BE RESPONSIBLE TO REPAIR/RESTORE/REPAINT/REPLACE ALL EXISTING FINISHES, FIXTURES, MILLWORK, WINDOWS, ETC. DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY OR REMOVED IN ORDER TO ALLOW CONSTRUCTION TO BE UNDERTAKEN.

14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ENTRANCE AND EXIT WAYS TO AND FROM THE SITE AND BUILDING REMAIN OPEN AND ACCESSIBLE AT ALL TIMES EXCEPT WHERE OTHERWISE COORDINATED WITH AUTHORITIES HAVING JURISDICTION.

15. THIS SET OF STRUCTURAL DRAWINGS ALONG WITH THE STRUCTURAL SPECIFICATIONS FORM THE CONTRACT DOCUMENTS WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. ALL DOCUMENTS MUST BE READ AND INTERPRETED IN CONJUNCTION WITH ONE ANOTHER.

16. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF CAN3-A23.1, A23.2, A23.3 AND DOCUMENTS REFERENCED THEREIN.

17. CONSTRUCTION LOADS MUST NOT EXCEED THE ORIGINAL DESIGN LOADS AND DESIGN LOADS MAY ONLY BE APPLIED AFTER CONCRETE REACHES ITS DESIGN STRENGTH.

18. ALL WORK IS TO BE IN ACCORDANCE WITH ONTARIO BUILDING CODE.

2.0STRUCTURAL SCOPE OF WORK :

1. IN GENERAL, THE STRUCTURAL SCOPE OF WORK INCLUDES THE REPAIR AND PROTECTION OF THE SETTLED SLAB ON GRADE AREAS AS SHOWN IN THESE DRAWINGS.

2. IN PARTICULAR, THE WORK, BRIEFLY DESCRIBED BELOW, INCLUDES, BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:

.1THE INSTALLATION AND MAINTENANCE OF HOARDING, DUST PROTECTION, VENTILATION SYSTEMS, AND CONSTRUCTION SIGNAGE AROUND EACH AREA OF THE WORK IN CONFORMANCE WITH THE PROJECT GENERAL REQUIREMENTS.

.2REMOVAL AND DISPOSAL OF THE SLAB-ON-GRADE VINYL TILE FINISHES AND GYPSUM BOARD WALL FINISHES IN THE AREAS OF WORK.

.3SURFACE PREPARATION AND INSTALLATION OF SELF-LEVELING TOPPING AT THE AREAS OF WORK.

.4REINSTATEMENT OF FINISHES. REMOVED TO FACILITATE THE WORK PER THE ARCHITECTURAL DOCUMENTS.

.5FINAL CLEANING AND REMOVAL OF HOARDING AND DUST PROTECTION.

3.0HOARDING NOTES :

1. MAINTAIN CONSTRUCTION HOARDING AND DUST PROTECTION AROUND THE AREAS OF WORK IN CONFORMANCE WITH PROJECT GENERAL REQUIREMENTS. PREVENT DUST MIGRATION AND CONTAMINATION OF ADJACENT AREAS OUTSIDE THE SCOPE OF REPAIRS.

2. POSITION HOARDING TO MAINTAIN PEDESTRIAN TRAFFIC FLOW AND MINIMIZE ACCESS RESTRICTIONS.

3. MAINTAIN SAFE ACCESS TO ALL BUILDING ENTRANCES/EXITS, AND OTHER SERVICE AREAS AND EGRESS POINTS, ETC. TO MINIMIZE DISRUPTION TO THE SITE AND BUILDING.

4.0SITE REVIEW RESPONSIBILITY :

READ JONES CHRISTOFFERSEN LIMITED ("RJC") WILL PROVIDE GENERAL REVIEW OF CONSTRUCTION IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF THE ASSOCIATION OF PROFESSIONAL ENGINEERS OF ONTARIO BY MEANS OF A RATIONAL SAMPLING PROCEDURE TO DETERMINE WHETHER THE CONSTRUCTION OF THAT WORK SHOWN ON RJC'S DRAWINGS IS IN GENERAL CONFORMANCE WITH THE PLANS, SKETCHES, DRAWINGS, AND SPECIFICATIONS FORMING PART OF THE CONTRACT DOCUMENTS PREPARED BY RJC. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT. RJC SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

5.0TEMPORARY WORK :

1. THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN, REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY WORK REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORK.

2. IN THE EXECUTION OF THE TEMPORARY WORK AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE WORK PLUMB, ALIGNED AND FREE FROM EXCESSIVE DEFLECTION.

3. ACCESS OF HEAVY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE FLOORS ARE NOT PERMITTED, UNLESS SUCH HAVE BEEN CATERED FOR IN THE CONTRACTOR'S TEMPORARY WORK DESIGN TO THE SATISFACTION OF THE ENGINEER.

4. COSTS OF ALL TEMPORARY WORK IS TO BE INCLUDED IN THE CONTRACT PRICE.

5. SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORK TO RJC FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

6.0EXISTING CONDITIONS :

1. THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING SITE AND BUILDING AND ASSUMPTIONS IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITIONS.

2. MINOR MODIFICATIONS WILL BE REQUIRED TO THE WORK INDICATED ON THESE DRAWINGS TO REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH THE CONSULTANT IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CONTRACT PRICE.

3. ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR COORDINATION.

4. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL MATERIAL OFF SITE AS REQUIRED FOR COMPLETION OF THE WORK (I.E. CONCRETE, GRANULAR BASE MATERIALS, EXISTING SUBGRADE MATERIALS, ETC.). TESTING OR VERIFICATION REQUIREMENTS TO CONFIRM SUITABILITY FOR DISPOSAL REMAIN THE CONTRACTORS RESPONSIBILITY, AND THE OWNER WILL NOT ENTERTAIN ANY ADDITIONAL COSTS FOR DISPOSAL.

5. PRIOR TO CONSTRUCTION OF ANY NEW ELEMENTS, THE CONTRACTOR SHALL COMPLETE THIS SITE REVIEW OF CRITICAL "TIE-IN" DIMENSIONS AND CONFIRM ALL DIMENSIONS TO ENSURE PROPER FIT OF NEW WORK TO EXISTING. REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO STARTING WORK.

6. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED, AND ARE ACCEPTABLE.

7. CONTRACTOR TO ENSURE THAT EMBEDDED OR BURIED SERVICES ARE IDENTIFIED AND NOT DAMAGED THROUGH DEMOLITION, SAWCUTTING, OR OTHER CONSTRUCTION ACTIVITIES. SLAB-ON-GRADE IS ANTICIPATED TO HAVE AN EMBEDDED HEATING SYSTEM.

8. CONTRACTOR TO AND PROTECT EXISTING UTILITIES, SERVICES, ETC. DAMAGES TO EXISTING UTILITIES, SERVICES, ETC. TO REMAIN WILL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR AT NO ADDITIONAL COST TO THE CONTRACT.

7.0SIGNAGE NOTES :

1. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED SIGNAGE NECESSARY TO PROTECT THE PUBLIC FROM THE CONSTRUCTION, CONTROL TRAFFIC FLOW THROUGH THE SITE AND AROUND THE WORK AREA, AND TO INFORM PATRONS THAT CONSTRUCTION ACTIVITY IS IN PROGRESS.

2. ADDITIONAL SIGNS MAY BE REQUIRED AT THE DISCRETION OF THE OWNER OR THE CONSULTANT AS CONSTRUCTION PROGRESSES TO ENSURE VEHICLE AND PEDESTRIAN TRAFFIC FLOW IS MAINTAINED. NO EXTRAS WILL BE ENTERTAINED FOR SIGNAGE REQUIREMENTS AFTER TENDER CLOSES.

3. SIGNAGE WILL BE REQUIRED AT ALL ENTRANCES TO THE BUILDING. THIS SIGNAGE SHALL CONSIST OF THE STANDARD "MEN AT WORK" SIGN WITH AN ADDITIONAL SIGN (SPECIAL ORDER) INDICATING THAT THE "SITE IS TEMPORARILY UNDER CONSTRUCTION" AND "SORRY FOR THE INCONVENIENCE".


4. SIGNAGE IS REQUIRED AT ALL BUILDING ENTRANCES TO THE WORK AREA. SIGNS ARE TO INDICATE THAT "THIS ENTRANCE IS CLOSED DUE TO CONSTRUCTION".

5. CONFORM TO PROJECT GENERAL REQUIREMENTS WITH RESPECT TO LOCATION, TYPE, SIZE, ETC. FOR SITE SPECIFIC SIGNAGE:


.1"DO NOT ENTER – CLOSED FOR REPAIRS"

.2"EXIT" (WITH DIRECTIONAL ARROW)

.3"AREAS IS UNDER CONSTRUCTION, SORRY FOR THE INCONVENIENCE"



Creative Thinking
Practical Results



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email toronto@rjc.ca

KEY PLAN

2.	ISSUED FOR TENDER	Aug. 29, 25	C.C.
1.	ISSUED FOR CLIENT REVIEW	June 30, 25	C.C.
No.	Revision	Date	By

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Seal	
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Project Name

Enderby Child Care
118 Enderby Road, Toronto, ON

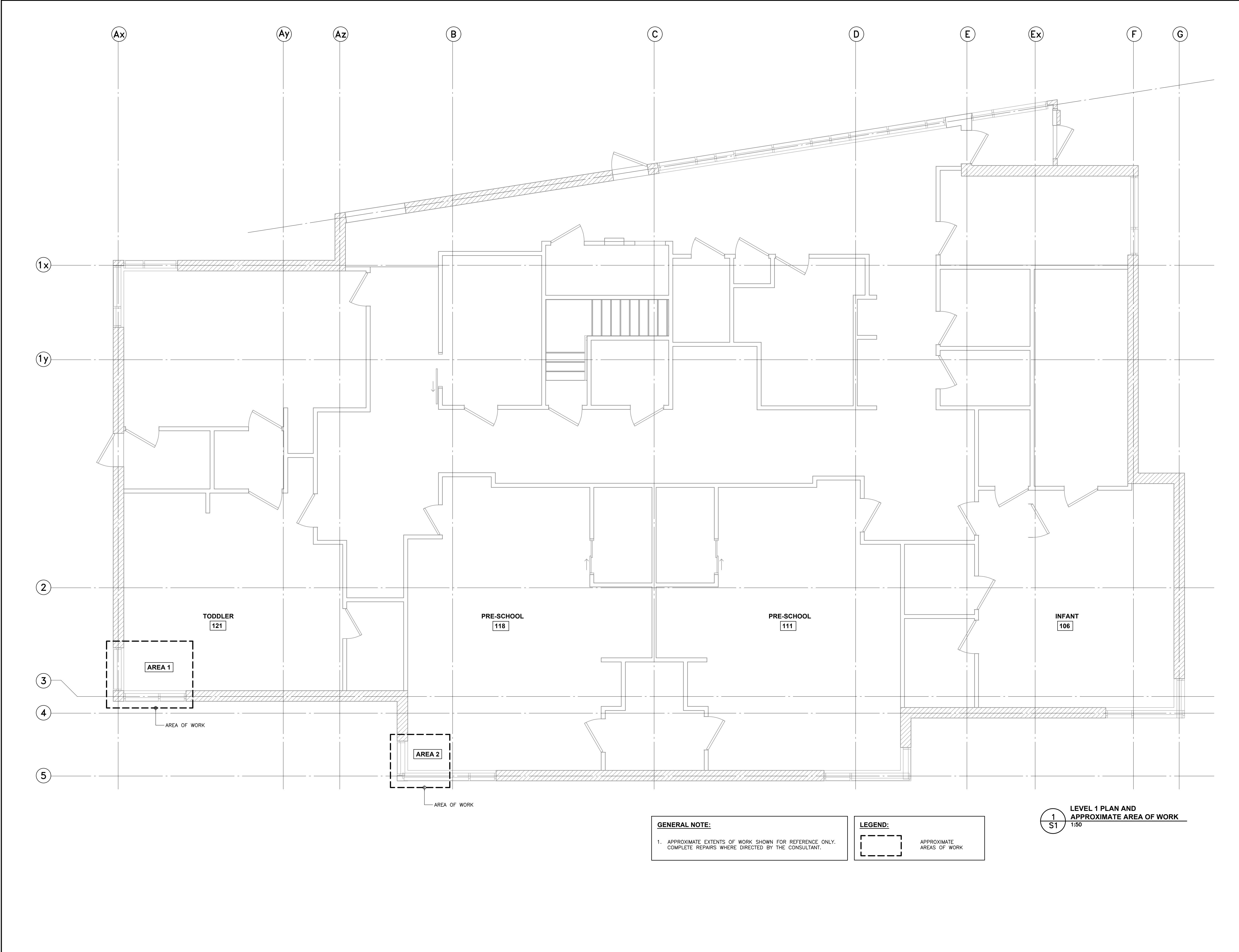
SLAB-ON-GRADE REPAIRS


Sheet Title

GENERAL NOTES			
Drawn By	K.V.	Scale	AS NOTED
Designed By	C.C.	Date	August, 2025
RJC Project Number	TOR.137855.0003		


Sheet Number	Revision
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S0.1






Creative Thinking
Practical Results



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APPROXIMATE
EXTENT OF WORK

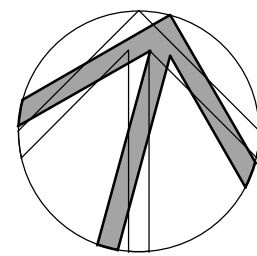
KEY PLAN

No.	Revision	Date	By
2.	ISSUED FOR TENDER	Aug. 29, 25	C.C.
1.	ISSUED FOR CLIENT REVIEW	June 30, 25	C.C.

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Seal



Project Name

Enderby Child Care
118 Enderby Road, Toronto, ON

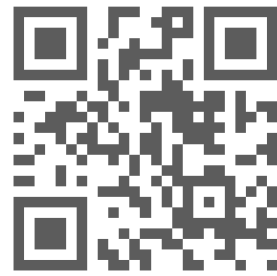
SLAB-ON-GRADE REPAIRS

Sheet Title

LEVEL 1 PLAN AND APPROXIMATE AREAS OF WORK

Drawn By	K.V.	Scale	1:50
Designed By	C.C.	Date	August, 2025
RJC Project Number	TOR.137855.0003		
Sheet Number	Revision		

S1



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KEY PLAN

2.	ISSUED FOR TENDER	Aug. 29, 25	C.C.
1.	ISSUED FOR CLIENT REVIEW	June 30, 25	C.C.
No.	Revision	Date	By

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Sheet Title

Sheet Number Revision

S2

Revision